



Tender issuing Authority -Regional Manager  
UNION BANK OF INDIA, Khand Bazar Branch, Mumbai

## **TENDER DOCUMENT**

FOR

**Renovation (Only Civil & Refurbishment works) for Khand Bazar Branch Premises  
at 105/109, Kazi Syed Street, Khand Bazar Mumbai..**

**DATE OF ISSUE: - 18/04/2022 TO 26/04/2022**

**SUBMISSION OF TENDER: - 26/04/2022 UPTO 03:00 PM**

**TENDER OPENING: - 26/04/2022 TIME- 03.30 PM**

# BHAWANA ENTERPRISES PVT LTD

**An ISO 9001 – 2015 Certified Company**

**The Enterprise of Architects, Engineers and Consultants**

**Telefax No- 91-22- 27458555**

**Email: [bhawanaenterprises13@gmail.com](mailto:bhawanaenterprises13@gmail.com).**

## **NOTICE INVITING TENDER FOR**

**RENOVATION WORKS for PRESTIGIOUS Khand Bazar Branch Premises at 105/109,  
Kazi Syed Street, Khand Bazar Mumbai..**

**For Empaneled Vendors, empaneled by the Bank under  
Suitable category But for Mumbai Zone, Only.**

Sealed tender is invited in two bid system from **Eligible and reputed Vendors for carrying out the renovation works for Khand Bazar Branch Premises at 105/109, Kazi Syed Street, Khand Bazar Mumbai...**

The works include Civil, interior, electrical, Data, PA, HVAC and Data Cabling works to be carried out at the **Khand Bazar Branch Premises at 105/109, Kazi Syed Street, Khand Bazar Mumbai..** of the Bank. Hence the Tenders are called for the captioned works as per details given below: -

<b>Name of the work</b>	<b>Estimated value Rs. (in Lacs)</b>	<b>Earnest Money Rs.</b>	<b>Time of completion months</b>	<b>Tender fee Rs</b>
<b>Renovation (Only Civil and furnishing works) of UNION BANK OF INDIA, Located at Khand Bazar Branch Premises at 105/109, Kazi Syed Street, Khand Bazar Mumbai..</b>	<b>1864147.00</b>	<b>35000.00</b>	<b>45 days</b>	<b>1000.00</b>

**Contact Persons on behalf of UNION BANK OF INDIA.**

Chief Manager Premises & Estate Department (Union Bank of India,  
Regional office, fort, Mumbai.

## TENDER NOTICE

**Sub: RENOVATION WORKS for PRESTIGIOUS Khand Bazar Branch Premises at 105/109, Kazi Syed Street, Khand Bazar Mumbai..**

### Essentials for Applicator

UNION BANK OF INDIA, Office at South Zone, Mumbai, desires to engage reputed and experienced 'Reputed and Eligible' contractors for **carrying out the renovation works of Khand Bazar Branch Premises at 105/109, Kazi Syed Street, Khand Bazar Mumbai..**The proposed work will be carried out as per the relevant Tender Terms and conditions, approved designs, Bill of quantities, under the supervision of Architects M/s BHAWANA ENTERPRISES Pvt. Ltd.

Essential conditions for pre-qualifying the contractors are as under, and only those contractors, who satisfy these conditions, would be considered for opening of their price bids. In addition, utmost Importance will be given for the past performance of having executed similar jobs for Govt. / Public Sector Undertakings / Reputed private sector undertakings.

**Minimum Qualifying Criterion to be fulfilled by the vendors to get themselves eligible for the works are as under stated.**

1. Copy of enlistment of the Vendor under suitable Category.

### **Other Optional Requirements are**

2. The Contractor who have Successfully carried out repair/renovation, interior furnishing, works equivalent to following percentage Amount of works but also including electrical, HVAC, Data cabling and allied works **(The Amount of Furnishing and Civil works, successfully done will only be accounted and considered for this Job.)**. The following Amount of works are the criterion for this Job.
  - A. Minimum of Single works upto an amount equivalent to 80% of the value of the works.
  - B. Minimum of two works upto an amount equivalent to 50% of the value of the works.
  - C. Minimum of three works upto an amount equivalent to 40% of the value of the works.
3. The Contractor should have executed Building works involving all the disciplines of works like Interior, Electrical, Data, PA, HVAC etc.
4. The essential Proof of works done required I.e. work order or appointment letter for respective works done for the Government Sector, PSU Sector, in India. Works allocated by the reputed Private organizations should carry the Notarized copy of, the works order, works completion certificate, TDS Certificates., all of them issued in the name of the Entity/ organization who is participating in the Tender Bid. The works completion should be signed

by the authorized signatory or the Project In charge who is eligible to sign the Project, in case of Private organizations.

5. Satisfactory Work Completion Certificates indicating the amount of work completed are required to be submitted along with Part - I.
6. The contractors should having adequate equipment and qualified staff.
7. Satisfactory submission of all details per 'form of particulars'.
8. Arranging for site visit for showing the completed works when asked to do so.
9. Adequate financial, strength proof (solveny certificate from Nationalized Bank and endorsed by Chartered Accountant) is required.
10. GST Registration No., Along with SAC & HSN Code is required.
11. A self-declaration by the firm endorsed by the authorized signatory, on Non Judicial Paper of Rs 100, for not being black listed, Holiday Listed by any Government or State Government organization is required.
12. All the rates indicated in the tender shall be **inclusive of all material charges, transportation, local levies as applicable, loading, unloading, lifting- shifting, erection, testing, commissioning, etc. GST will be paid extra as applicable.**
13. The rates quoted shall also be inclusive of Local Authorities Permission/ Handling of Municipal / a Local problem is in contractor's scope of work, including obtaining verbal local permissions for smooth functioning the project, Bank shall not pay any extra amount for the same.
14. Tenderer / Bidder should have registered office & Full Fledge Workshop in Mumbai / Navi Mumbai/ Thane with supporting documents such as registered office address proof issued by govt. and other related authorities etc.
15. The contractor should follow the IBA and CPWD guidelines while quoting for tender rates.
16. **The Tender opening is scheduled at Conference Hall, UNION BANK OF INDIA, REGIONAL OFFICE, 6<sup>TH</sup> FLOOR FORT, Mumbai** Bidders are advised to visit the site prior to attending Pre Bid meeting. Any changes arising due to outcome of Pre-Bid Meeting will be published on Bank's website under Tender section and will be a part of Technical Bid. Bidders are advised to visit Bank's Website periodically for updates.

**All Tender details are available for reference on Official Website of UNION BANK OF INDIA; also. These may be downloaded filled and send on the mentioned Address of the UNION BANK**

However, the tenders may be submitted in the formal tender form obtained from the office of Architects, also. **The tender must be accompanied by the EMD of Rs 35000.00 (Thirty five thousand only). The tenders without EMD Will be rejected without hearing any plea.**

## **TENDER TITLE**

**Renovation works (For only Furnishing & Civil Works) For prestigious works of UNION BANK OF INDIA, Located at Khand Bazar Branch Premises at 105/109, Kazi Syed Street, Khand Bazar Mumbai..**

The works include Civil, interior, electrical, Data, PA, HVAC and Data Cabling works to be carried out in the running Branch of the Bank .

Tender No. MUM/UBI/KB-BR-FUR-1

Tender Date: \_\_\_\_\_

**Last Date of submission:** \_\_\_\_\_

### **Brief:**

The proposed work will be carried out per designs and under the supervision of architects M/s BHAWANA ENTERPRISES PVT. LTD, SHOP NO 2, KAILASH UPTOWN COMMERCIAL COMPLEX, NEAR SECTOR 6 BUS STOP, SECTOR 6 KARANJADE, PANVEL, NAVI MUMBAI – 410206.

**It is advisable to download the Tender document along with drawings from the portal of UNION BANK OF INDIA - <https://www.unionbankofindia.co.in/english/tender.aspx>**

The last date of submission of the tender documents is **26 /04 /2022**.

The tender will have to be submitted in two sealed envelopes placed in a one large envelope. The first sealed envelope shall be marked as 'Part-I' and shall contain

- 1) Application / Letter of Intent
- 2) DD for EMD
- 3) Part-I of tender duly signed in acceptance
- 4) All required documents,
- 5) Company profile and
- 6) Annexures if any or as required.

The second sealed envelope shall be marked 'Part II' as 'Price Bid or Offer' and shall contain offer per part II along with enclosures state therein.

Both the envelopes are than to be in one large Envelope superscripting the name of the works, physically submitted on the address as highlighted below.

The part I of the tender documents will be opened In the presence of participating tenderer at 3.30 p.m. on the same day. PART-II (Price Bid) of the technically qualified tenderers will be opened In the presence of the tenderers. At the below mentioned address., on given date & time.

**TO,  
THE Chief Manager, (Premises & Estate)  
UNION BANK OF INDIA, Regional office,**

**UNION BANK BUILDING,  
6 TH FLOOR, 66/80,  
MUMBAI SAMACHAR MARG,  
MUMBAI 400001.**

## **TENDER DOCUMENT**

### **Renovation works of**

Date of Submission -----

Date of Opening (Part-I) \_\_\_\_\_

Issued: M/s \_\_\_\_\_

NOT TRANSFERABLE

**Issued by Project Architect of**  
**UNION BANK OF INDIA, Regional office, FORT, Mumbai.**

**For Any Queries you may Post the mail or connect on the  
given Mobile Numbers.**

**BHAWANA ENTERPRISES PVT LTD**  
**An ISO 9001 – 2015 Certified Company**  
**The Enterprise of Architects, Engineers and Consultants.**  
**Mob no – 9096198014, 7020672583**  
**Email: bhawanaenterprises13@gmail.com**

## 1.0 Tender Form. Index

### **PART – I**

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- 2.0 DRAFT OF LETTER OF APPLICATION & INTENT
  - 2.1 Form of Particulars
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(Including Tender stipulations and Instructions)
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### **PART –II**

- 10.0 BILL OF QUANTITIES (Price Bid).  
For Carrying out the Renovation works of **Khand Bazar Branch Premises at 105/109, Kazi Syed Street, Khand Bazar Mumbai..**

## **TENDER DOCUMENT**



## Part – I

Issued: M/s\_\_\_\_\_

NOT TRANSFERABLE

**Issued by Project Architect of**

**Appointed by UNION BANK OF INDIA, Regional office, FORT, Mumbai.**

**BHAWANA ENTERPRISES PVT LTD**

**An ISO 9001 – 2015 Certified Company**

**The Enterprise of Architects, Engineers and Consultants.**

Mob no – **9096198014, 7020672583**

Email: **bhawanaenterprises13@gmail.com**

**TENDER NOTICE**  
**UNION BANK OF INDIA, Regional office, FORT, Mumbai.**

**Sub:**

**Appointment of Contractor**

The competent Authority of the Bank desires to engage reputed and experienced 'Civil' contractors for **Renovation works For Khand Bazar Branch Premises**  
**at 105/109, Kazi Syed Street, Khand Bazar Mumbai..**

Proposed work will be carried out per designs and under the supervision & architects M/S BHAWANA ENTERPRISES PVT LTD.

All Tender details are available for reference and download from

The last date of submission of the tender documents is / / 2022

The tender will have to be submitted in two sealed envelopes placed in a one large envelope. The first sealed envelope shall be marked as 'Part-I' and shall contain

- 1) Application / Letter of Intent
- 2) DD for EMD
- 3) Part-I of tender duly signed in acceptance.
- 4) All required documents,
- 5) Company profile and Annexure as required.

The second sealed envelope shall be marked Part'II as 'Price Bid or Offer' and shall contain offer per part II along with enclosures state therein. The part I of the tender documents will be opened presence of participating tenderer on the provided date & time. The Part II (Price Bid) of the technically qualified tenderers will be opened in the presence of the tenderers on the mentioned date & time, only.

The sealed envelopes mentioning Technical Part 1 & Price Bid marked as Envelop II Should be marked as under-

To,  
Chief Manager, (Premises & Estate Department)  
UNION BANK OF INDIA, Regional office,  
FORT, Mumbai.

**Enclosed – Tender documents for For Khand Bazar Branch Premises at 105/109,  
Kazi Syed Street, Khand Bazar Mumbai..**

**From – Name, Address, Contact Details, Email id of the Tenderer.**

**DRAFT OF LETTER OF APPLICATION & INTENT**

Dear Sir,

REF.: TENDER NOTICE: **No** \_\_\_\_\_

DATED: **No** \_\_\_\_\_

With reference to the Vender invited by you for **Furnishing works (For Civil & Furnishing works, only)**, I/we do. Hereby offer to execute the works under contract at the respective rates mentioned in the schedule of quantities. I/we have seen the site and read the articles of agreement, conditions of contract, specifications and special clauses.

I/we undertake to keep our offer valid for acceptance up to 60 days after the opening of the cover containing tender. I/We are enclosing herewith the Data and all details and documents. per Form of Particulars of the company as required.

I/we are sending herewith the **Earnest Money of Rs. 35000.00-** vide demand draft no. \_\_\_\_\_ dated \_\_\_\_ / \_\_\_\_ / 2022, respectively, which will not bear any interest. I/we do hereby agree that this amount of Earnest Money shall be forfeited by you in the event of my/our falling to execute the agreement when called upon to do so.

I/we hereby further agree that until a formal agreement is prepared and executed in accordance with the Articles of Agreement; this tender offer together with your letter of acceptance and other documents, if any, referred to therein shall constitute a binding contract between us.

I / We hereby certify that my/our firm has not been disqualified by any Office/Department/Undertaking of the State / Central Govt. of India, at any time for services of any description.

Yours faithfully,

For and on behalf of:

\_\_\_\_\_  
(Name of Applicant)

Name \_\_\_\_\_ Name \_\_\_\_\_

Designation \_\_\_\_\_ Designation \_\_\_\_\_

Company Seal

All Partners. Must sign in case of a partnership Co.).

Copies of Mandatory Enclosures requiring the attestation of the Public Notary.

- 1) Company Profile.
- 2) List of Projects in Hand.
- 3) List of Jobs completed.
- 4) Tender Fee & Earnest Money Deposit
- 5) Tender form duly filled in and submitted in two sealed envelopes.
- 6) Form of particulars with all supporting documents
- 7) All annexure and documents stated in the tender form as required.

**SCHEDULE – A****(Application Format)**

SL. NO.	PARTICULARS	
<b>1.</b>	<b>ORGANISATION DETAILS</b>	
i)	Name of the firm	
ii)	Address of the firm with telephone/Mobile no., fax no., email (if any)	
iii)	Year of Establishment/ Registration	
iv)	Status of the firm (Individual / Partnership / Pvt. Ltd / Public Ltd.) (Documentary evidence to be attached)	
v)	Name of Directors/Partners/Proprietor	i) ii) iii)
<b>2.</b>	<b>FINANCIAL DETAILS</b>	
i)	Name and address of Bankers	i) ii) iii)
iii)	Average Annual Turn-over during the last 3 financial years (Attested by Chartered Accountant)	i) YEAR 2017-18 Rs _____ ii) YEAR 2018-19 Rs _____ iii) YEAR 2019-20 RS _____
iv)	PAN No. and Income Tax Returns for the last Three years (Please attach as annexure)	PAN NO.
v)	Furnish copies of audited Balance Sheet and profit & loss account (audited) for the last Three years. (Please attach as annexure)	
vi)	GST No. (Attached Copy in separate Sheet)	
vii)	EPF/ESI Registration No. (Attach registration certificates as annexure)	EPF ESI

<b>3.</b>	<b>REGISTRATION DETAILS</b>	
i)	(Enclose registration Certificate as Annexure )	
<b>4.</b>	<b>WORK EXPERIENCE</b>	
	<p>The copy of Enlistment issued by the Union Bank of India under the appropriate category which justify the Tenderers Participation in the Tender.  Please provide the following information /details pertaining to similar projects or projects of similar magnitude (Minimum 2 Works) completed during last 3 years or presently under construction in the format given below. <b>Attach separate sheets for each project.</b> Enclose copy of the completion certificate/work order from Owner/Architect for each project. Photographs of the projects completed/under construction may also be enclosed.</p>	
i)	Name of the Project with Location	
ii)	Name of the Client	
iii)	Name of the Architect	
iv)	Project Description with scope of the contract	
v)	Original cost put to tender	
vi)	Month & Year of commencement	
vii)	Stipulated period of completion	
viii)	Actual month and year of Completion	
ix)	Up-to-date percentage of completion (Cost wise) or ongoing projects	
x)	Reason for Delay, if any	
xi)	Actual cost of construction, for completed projects	
xii)	Details of disputes/failures/litigations, if any	
xiii)	Completion certificate/work order from the owner/architects (Enclose documentary evidence)	
xiv)	Provide a complete list of ongoing projects with anticipated date of completion	
xv)	Details of minimum two projects of similar nature executed in the past.	
<b>5.</b>	<b>INFRASTRUCTURAL FACILITIES OF THE FIRM</b>	
i)	<b>EQUIPMENT</b>	
	Construction/Execution equipment (Provide a list of plants and machineries available with the organization with numbers	

ii)	<b>MANPOWER (Qualified Professional)</b>	
<b>Note: Where copies are required to be furnished. These are to be certified copies preferably by the concerned issuing agencies / officer.</b>		

## **FORM OF TENDER**

**To,**  
**The chief Manger (Premises & Estate Department)**  
**UNION BANK OF INDIA – REGIONAL OFFICE, BORIVALLI, MUMBAI.**

Dear Sir,

Having examined the drawings, specifications, designs and bill of quantities relating to the works specified in the memorandum hereinafter set out and having examined the site of the works specified in the said memorandum and having acquired the requisite information relating thereto as affecting the tender, I/we hereby offer to execute the works specified in the said memorandum at the rates mentioned in the attached bill of quantities and in accordance in all respects with the specifications, designs, drawings and instructions in writing referred to in condition of tender, appendix to the form of tender, articles of agreement, conditions of contract, bill of quantities and with such materials as are provided for, by, and in all other respects in accordance with such conditions so far as they may be applicable.

### **Memorandum**

Description of works	<b>FURNITURE / CIVIL WORKS OF Khand Bazar Branch Premise at 105/109, Kazi Syed Street, Khand Bazar Mumbai..</b>
Earnest money deposit	<b>Rs. 35000/- (Thirty five thousand Only)</b>
Security deposit	Total 5% of the contract value including the Amount of the earnest money deposited at the time of submission of the Tender. The retention amount @ 8 % of the cumulative value of the Project, to be deducted from the running bills.
Time allowed for completion	<b>8 Weeks or 45 days whichever is less, from the date of issuance of the LOA.</b>

Should this tender be accepted, I/we hereby agree to abide by and fulfill the terms and provisions of the said conditions of contract annexed hereto so far as they may be applicable or in default thereof to forfeit and pay to **UNION BANK OF INDIA** the amount mentioned in the said conditions.

I/we have deposited a sum of **Rs. 35000/- (Thirty five thousand Only)** as earnest money in the form of Demand Draft, FDR or in the form of Bank Guarantee from any schedule Bank other than Clientele Bank only in favor of **UNION BANK OF INDIA** Payable at **Mumbai**. Should  
Page 15 of 42 **TENDER DOCUMENT FOR FURNISHING & CIVIL WORKS OF KHAND BAZAR BRANCH, MUM.**

I/we fail to execute the contract when called upon to do so, I/we do hereby agree that this sum shall be forfeited by **UNION BANK OF INDIA**.

All information and documents as required to be submitted with the tenders.

1. Our bankers are
2. The names of partners of our firm are
3. Name of the partner(s) of the firm authorize to sign:
4. Name of the persons having power of attorney to sign the contract (certified true copy of the power of attorney should be attached.

All the relevant works are to be carried out by experienced and eligible personals. The works are mainly to be carried out by using highest level of accuracy. The working staff should wear the approved types of Dresses, helmets etc. for their safety when working on the site.

Yours faithfully

Signature of contractor

Signature and addresses of witnesses

- 1.
- 2.



### 3.0 PRELIMINARIES

The contractors will not be paid separately for the several items listed in this section.

The expenses for these items should be covered in the rates for the several items in the schedule.

The contractor is bound to carry out these items when called upon to do so by the architect and to the complete satisfaction of the architects.

- 3.1 Benches and setting out.
- 3.2 Access to site.
- 3.3 Treasure troves.
- 3.4 Access for inspection.
- 3.5 Hoarding.
- 3.6 Water and Electrical supply for construction & renovation works.
- 3.7 Temporary plumbing & Lighting works & Telephone Connection.
- 3.8 Corporation and/or other charges.
- 3.9 Gate keepers and watchman.
- 3.10 Storage sheds.
- 3.11 Temporary latrines, Washing places and Urinals.
- 3.12 Temporary offices, furniture therein etc.
- 3.13 Providing samples & getting the same tested.
- 3.14 Progress photographs.
- 3.15 Providing mechanical plants plumbing equipment Including operator and fuel etc.
- 3.16 Work progress schedule.
- 3.17 Weekly progress reports.
- 3.18 Making clean on completion.
- 3.19 Providing painted notice board with the name of owners, Architects  
Consultants, Contractors and the name of the project under  
Contract and mounting and fixing the Notice Board as display.
- 3.20 Mounting drawings for reference on site.
- 3.21 Keeping site clean.
- 3.22 Insurance.
- 3.23 Leave premises clean, ready for occupation including making good after all trades.
- 3.24 Cover up and protect efficiently works, from injury.
- 3.25 Weekly report of material used on the work.

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TENDERER

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EMPLOYER

## **4.0 SPECIAL CONDITIONS OF CONTRACT**

The following clauses be considered as in extension and not in limitation of the obligation of the contractor.

### **4.1. Tender Stipulations:**

Sealed tenders should be addressed to the owner:

**UNION BANK OF INDIA, Regional office, fort, MUMBAI.**

**4.1.2** No tender will be received after **03.00 p.m on / /2022.**

**4.1.3** Tenders will be opened in presence of the Contractors. The part I & Part II of the tender documents will be opened In the presence of participating tenderers at mentioned time. on the same day as stated above. PART-II (Price Bid) of the technically qualified tenderers will be opened' in the presence of the tenderers on the mentioned/conveyed date and time.

**4.1.4** The tender shall remain valid for acceptance by the Owners for a period of Ninety days from the date of opening of the tender part II (Price Bid). This period may be extended by mutual agreement and the tender shall not cancel or withdraw the tender during this period.

**4.1.5** Each and every page of the tender document is required to be signed by the person or persons submitting the tender In token of his/their having acquainted himself/themselves with General conditions of Contract, General Specifications, Special Conditions etc., and all other terms and stipulations of tender as laid down. Tender with any of the documents not signed will be rejected.

**4.1.6** The tender SHALL NOT MAKE ANY ALTERATION or amendments in the scope of works, specifications and descriptions as Incorporated In these tender documents. Tenders, which propose such alteration/s addition/s and/or propose any sort of conditions, will be liable for rejection.

**4.1.7** The tender must be filled In English and all entries must be made by hand and written In Ink. If any of the documents are missing or unsigned, the tender will be considered invalid.

**4.1.8** Initials of the tenderer must attest all erasures and alterations made while fillings the tender, over writing of figures is not permitted, failure to comply with either of these conditions will render the tender void, No advice for any change in rate or conditions after the openings of the tender will be entertained.

**4.1.9** The Owners do not bind themselves to accept the lowest or any tender and reserve to themselves the right to accept or to reject any or all the tenders<sup>1</sup> either In whole or in part without assigning any reasons for doing so.

**4.1.10** The tenderer must obtain for himself on his own responsibility and at his own' expenses all the Information which may be necessary for the purpose of submitting the tender and for entering in the contract, and must examine the work and acquaint himself with all local condition means of access to the work, nature of the work and all matters appertaining thereto. The description of all items of work shall be deemed to contain 811 details of carrying them out in the context of this tender and no extra claim will be acceptable and paid.

**4.1.11** The rate quoted in the tender should include all charges for necessary scaffoldings, centering Materials, water meter charges, temporary plumbing cost of Cistern, hire for any tools and plants, shed for materials, making out the cleaning of the site and removing all left-over materials and stains of all kinds caused due to works to the entire satisfaction of the Architects and watering the concrete and brick work even If it Is not mentioned In the specifications. . The rates quoted by the tenderer in the schedule of quantities will be deemed to be for the finished work to be measured on site.

**4.1.12 All the quoted. Rates shall be Inclusive of all the Taxes excluding the GST which shall be paid after submission of the Paid GST Challan by the Vendor.** The Vendor will be responsible for the authenticity of the Paid GST or it will be recovered from his dues / Bank Accounts etc. including the fine, if the submission is found to be false or fake. Work Contract Tax, and any other duties levied by any Government or Public bodies, excluding GST, shall be borne by the Vendor. The rates shall be firm and shall not be subject to exchange variations, labour conditions or any other conditions whatsoever. The contractor shall not be entitled to claim escalation in rates.  
**The GST shall be quoted separately at the end of the Price-Bid (Part-TI of Tender Document)**

**4.1.13** every tenderer shall furnish along with his tender all documents as stated In the Form of Particulars.

**4.1.14** the tenderer shall quote his most competitive rates against all the items of work of the schedule of probable quantities and rates. In case, the amount shown in the last column as stated by the tenderer differs from the product of the quantity and rates filled in; the amount that may work out as based on the rates will be taken as correct.

**4.1.15** The tenderer before quoting his rates shall take due cognizance of the relevant costs of simultaneously working several agencies at the sites, the extent of Interference In his work under execution, the execution, phasing, programming and providing of facilities such as scaffolding working and Include the same In his rates and no extra amount on such shall be payable to the employer.

#### **4.2.0 Contractual**

**4.2.1** Within SEVEN days of the receipt of intimation from the Architects / Owners of the acceptance of his/their tender, the successful tenderer shall be bound to Implement the contract by signing an agreement In accordance with the Tender as draft agreement and the schedule of conditions, but the written acceptance by the Owners/Architects of the tenders will constitute a binding agreement between employer and the person so tendering whether such formal contract Is/is not subsequently entered Into.

**4.2.2** The contractor cannot assign the contract to any other agency. He cannot sublet any portion of the contract without written consent of the Architects.

**4.2.3** The calculations made by the tenderer should be based upon probable quantities of the several types of work which are furnished for the tenderer's convenience In the schedule of probable quantities, but it must be dearly understood that the contract Is not a lump sum contract and that neither the probable quantities nor the value of the Individual items, nor the agreement value of the entire tender will form part of the contract and the employer/architects does not In any way assure nor guarantee' that, the said probable quantities are correct or that the work would correspond thereto.

**4.2.4** The contractors shall employ full time competent qualified and experienced person who will be approved by the Architects on site as Site-Engineer and he will be the authorized representative, In charge, to carry out work in accordance with the plans and directions of the Architects.

**4.2.5** The successful tenderer is bound to carry out any items of work necessary for the completion of the job even though such Items are not included in this tender/contract if instructed by the architects. The Architects will Issue instructions In respect of such additional Items and their quantities in writing.

**4.2.6** Following are those mentioned such as in this documents/ agreement and shall include their legal representatives, assigns or successors. They are treated throughout the contract document as If each were of the singular number and masculine gender.

(a) The Owner (Employer): UNION BANK OF INDIA, Head Office, Mumbai— 400 023.

(b) The Contractor: The successful tenderer

(c) The Architect: Bhawana Enterprises Pvt Ltd.

**4.2.7 Date of commencement /completion:**

The Date of Commencement of work shall be the seventh day

From issue of Intimation of acceptance of the tender and or issue of work order or handing over site to the contractor to begin work whichever is later? Contractor shall thereupon and forthwith begin the works and shall regularly proceed with and complete the same on or before the 'Date of Completion" which shall be 8 calendar months from the date of commencement. It should be clearly understood that time is essence of this contract.

**4.2.8** The successful tenderer is bound to carry out any Items of work necessary for the completion of the job, if instructed by the architects, even If such Items are not Included In this tender/contract. The Architects will issue Instructions In writing, in Respect of such additional Items and their quantities.

**4.2.9**

**(a)** The Contractor shall fulfill the requirements of the EMPLOYEES STATE INSURANCE ACT, 1948, applicable to all states, towards their employees and keep all the required record regarding the same for inspection by the Authorities Concerned at any time. The Contractor shall Indemnify Owners I Architects, any claim or legal action arising out of the said Act due to the failure of noncompliance of the provisions of the said Act and the penalty of any other amount levied by the authorities, shall be recoverable from the payments due to the Contractor.

**(b)** The Contractor shall comply with the provisions of the APPRENTICES ACT, 1961, and the Rules & Order issued thereon from time to time. Failure to do so will be in a breach of the Contract and the Architects/Owners may in his discretion cancel the Contract. The Contractor shall also be liable for any pecuniary or other liabilities arising on account of any violation by him of the provisions of the Act.

**4.2.10 Water proofing Guarantee**

The Contractor shall furnish GUARANTEE on required stamp paper for all the water proofing works carried out him under this contract as per the draft provided with this tender, within 30 days of the receipt of the written acceptance of the tender, for a period of 10 years without any claim or conditions.

**4.2.11** any or all measurements stated in the tender/drawings In F.P.S. Systems shall be deemed to be their equivalents In Metric system.

**4.2.12 Contractor to Conform to Local Regulations:**

The Contractor shall confirm to the previous of act any Act of the Legislature relating to the work and to the Regulation relating to the works, and to the Regulations and Bye-laws of any Authority, and of any water supply, electricity supply and other Companies and/or Authority with whose systems the structure is proposed to be connected.

The Contractor shall bring to the attention of the Architect all notice required by the said Acts, Regulation and Bye laws to be given to any authority and pay to such Authority or to any public office all fees that may be properly chargeable in respect of the works, and lodge the receipt with the owners.

The Contractor shall pay and indemnify the owner against liability in respect to any fees or charges (including any rated and taxes).legally demandable under any act of parliament/state legislature, instrument rule or order or any regulation or bylaw or any local authority in respect of the work.

The Contractor shall indemnify the owners against all claims in respect of patent rights, and shall defend all actions arising from such claims, and shall himself pay all royalties, license fees, damages, cost and charges of all every sort that may be legally incurred in respect thereof.

**4.2.13 Contractor Responsible for Bad Works:**

The Contractor shall set out the works and shall be responsible for the true and perfect setting out of the same and for the correctness of the positions, levels, dimensions, and alignment of all parts thereof. If at any time any error/defect in this respect shall appear during the progress of the works or with in a period of one year from the completion of the works, the contractor shall at his own expense rectify such error / defect to the satisfaction of the Architect.

**4.2.14 Contractor liable for Damage done:**

The Contractor shall be responsible for all injury to persons, animals or things, and for all structural and decorative damage to property which may arise from the operation or negligence of himself or of any nominated Sub-Contractor's employees, whether such Injury or damage arise from carelessness, accident or any other cause whatever In any way connected with the carrying out of the Contract. This shall be held to include, inter alia, any damage to building, whether immediately adjacent or otherwise, and any damage to roads, streets, foot-paths, bridges or ways as well as all damage caused to the buildings and works. The Contractor shall indemnify the Owner and the architect and hold him harmless In respect of all and any expenses arising from any such injury or damage to persons and/or property as aforesaid and also in respect of any claim made in respect of Injury or damage under any Acts of Government or otherwise and also in respect of any Award of compensation or damages consequent upon such claim.

Contractor shall Indemnify the Owner and the architect against all claims which may be made against one or both by any member of the public or other Ground party in respect of anything which may arise in respect of the works or in consequence thereof and shall at his own expense arrange to effect and maintain until the virtual completion of the contract, an approved Policy of Insurance In the 'joint names" of Owners, architects and Contractor. The Contractor shall also similarly Indemnify the Owner against all claims which may be made upon the Owner whether under the workmen's compensation Act or any other statute and shall at his own expense effect and maintain, until the virtual completion of the Contract,, with an approved Office a Policy of Insurance In the joint names of the Owner and the Contractor against such risks and deposit such policy or policies with the Architect from time to time during the currency of the Contract.

The Contractor shall be responsible for anything, which may be excluded from the Insurance Policies above referred to, and also for all other damages to any property arising out of and incidental to the negligent or defective carrying out of this Contract. He shall also indemnify the Owner/Architect in respect of any costs, charges, or expenses arising out of claim or proceedings and also In respect of any award of or compensation of damage arising there from.

Owner with the concurrence of the Architect shall be at liberty and Is hereby empowered to deduct the amount of any damage, compensation, costs charges and expenses arising or accruing from or in respect of any such claims or damage from any or all sums due or to become due to the Contractor.

#### **4.2.15 Child Labour:**

The Contractor shall not employ child labour less than 14 years of age on the work. No workman of the contractor shall reside within the site except authorized guards.

#### **4.2.16 Dismissal of incompetent or misbehaving employee:**

The Contractor shall on the request of the Architect Immediately dismiss from the works any person employed thereon by him who may in the opinion of the Architect be incompetent or misconducts himself and such person shall not be again employed on the work without the permission of the Architect,

#### **4.2.17 Bills:**

All bills shall be submitted along with detailed measurement sheets duly checked by site-Architect/clerk of works. Bills shall be prepared In Microsoft Excel workbook with computations achieved by program formats and shall be submitted in soft copy on a CD. Along with the CD three hard copies of the bills so prepared shall be submitted with double spacing and duly signed by the contractor. Architects are not bound to accept Incomplete, ad hock or irrelevant bills and those not confirming to above norms. The Architect/ Consultant on receiving a Complete interim bill will confirm the works and endorse it within 7 working days for the needful action to the Owner/ Owners Engineers/ representatives so that the bill may be released by the Authorities within 7 working days from the date of receipt of the Endorsed bill by the Architect/ consultants. However, the time for endorsement of final bill from the Architect will be within 15 working days from the date of receipt of complete Bill, and thereafter the Authority has to sanction the amount within 15 days from the date of receipt of endorsed bill of the Architect/consultant.

#### **4.2.18 Extra items:**

The rates for varied / deviated or extra items to be worked out on the basis of the rates quoted in the tender for the similar items. Wherever it is not possible to base the rates for varied / deviated or extra items on the tender quoted rates then the rate analysis is to be submitted by the Contractors as under and get the same approved before execution of the work.

#### **At Actual per unit:**

Cost of materials:	Rs .....
Add for Labor charges:	R.s .....
Add for taxes, Transportation, If any,	R.s. ....
Add for Miscellaneous expenses, If any,	Rs .....

**Sub Total:** Rs.....

Add for towards Contractor's overheads and profit @ 20% of subtotal above.

Rs.....

**Total :**

Rs.....

**Final rates arrived**

by round off the total :

**Rs-----/units**

Contractors are requested to note that no extra items or deviated Item of work to be executed without taking prior permission from owners (HEAD OFFICE) I Architect. If the extra Items or deviated Items of work is executed without taking prior permission, owners (UBI) / Architects shall not be held. Responsible for the payment of such works executed. Contractors will have to submit all the particulars including purchase bills I price list for the materials along with the rate analysis for verification of item rates.

**4.2.19**

Along with the final bill, the contractor shall submit to the architect drawings, sketches and all necessary Information for preparing as built" drawings to be given to the owner for record.

**4.2.20**

In the event of rain/storm or other weather conditions arising, the Contractor shall always have In readiness on the site required quantity of protective materiel/s such as tarpaulins for the protection of the works If required. Due to above-mentioned circumstances If any work is damaged, the contractor shall make good the same at his cost as directed by the Architects and for which no any extra claim will be entertained.

**4.2.21 Use of premises for other work**

The Owner with the concurrence of the Architect reserves the right to use the premises and any portions of the' site for the execution of any work not included in this Contract which he may desire have carried out- by other persons, and the Contractor Is to allow all reasonable facilities for the execution of such work but is not required to provide any plant or materials for the execution of such work except by special arrangement with the. Owner such work shall be carried of in such manner as not to impede the progress of the works included in the Contract end the Contractor Is not to be responsible for any damage or delay which may happen to or occasioned by such work.

**4.2.22 Protection and cleaning:**

The Contractor shall protect and preserve the work from all damage or accident providing any temporary roof, window arid door boxing or other construction as required by the Architect. Is protection shall be provided for all property adjacent to the site well as on the site.

**4.2.23** The Contractor shall properly clean the work as it progresses and shall remove all rubbish and debris from the site from time to time as is necessary and as directed. On completion of the work the Contractor shall ensure that the premises and/or site are cleaned Surplus material debris, sheds etc. removed, areas under floors cleared of rubbish, gutters and drains cleared, doors and sashes eased, locks and fastenings oiled, keys clearly labeled and handed to the owners so that the whole is left fit for immediate occupation or use and to the satisfaction of the Architect.

**4.2.24 Work Program:**

The Contractor on starting the work shall furnish to the Architect a Program for carrying out the work stage by stage in stipulated time.



) A graph or chart on each Individual work shall be maintained / showing the progress of work week by week.

#### **4.2.25 Temporary Barriers/Screens:**

The contractors shall at his cost erect temporary barriers and provide approved type of screens between the area of work and that in use by the owners/occupants as and when directed by the architects. These barriers shall be such as to prevent dust and rabbit to cross over to the area in use as well as to provide protection to people. No separate payment shall be made for these barriers/screens.

#### **4.2.26 Approvals from authorities:**

The contractor shall obtain all approvals wherever necessary, In the name of the owners and shall bear all expenses towards the. same Including all fees, deposits, premises charges, penalties, etc. The owner shall have 1<sup>st</sup> lien on the Approvals so obtained until/ satisfactory completion of all works by the contractor. In case the (") contractor fails to complete the works under contract or the agreement is terminated the owners shall have right to use all the benefits of the approvals to complete the project through other agency or themselves.

### **4.3.0 Work:**

#### **4.3.1 Plumbing and Sanitary Works**

All plumbing and sanitary work shall be carried out under supervision of an approved and licensed plumber. The contractor has to arrange if necessary, approvals from authorities. The' contractor has to Include In his rates all costs for getting the various approvals as necessary from the authorities concerned for work, materials etc. No separate payments shall be made for such work except for payment of refundable deposits. All materials and workmanship shall comply with the municipal regulations and the relevant I. S. Specifications. The materials used shall be of best available quality and make for the purpose specified. For Sanitary Plumbing Work and Storm Water Drain, unless otherwise stated C.P.W.D., details for these items to be followed as per the description /specification given in the Book published by Central Public Works Department.

#### **4.3.2. Protections of trees and shrubs:**

Tree and Shrubs designated by the Architect shall be protected from damage during the course of the work and the earth level shall not be changed within three feet of such tree. Where necessary such trees and shrubs shall be protected by means of temporary fencing.

#### **4.3.3 Safety Code:**

The Contractor shall strictly comply with the provision of Safety Code as follow: -

- a) The first aid appliances shall be maintained at readily accessible place including adequate supply of sterilized dressings and cotton wool.
- b) An injured person. shall be taken to public hospital without loss of time, In case where, Injury necessitates hospitalization.
- c) Suitable and strong scaffolds should be provided for workmen for all works that cannot safety be done from ground
- d) No portable single ladder shall be over .5 meters in length. The width between the side rails shall not be less than 30 cm. (clear) and the distance between two adjacent 'rungs' shall not be more than 30 cm. When an unsecured ladder is used, an attendant shall be engaged for holding the ladder.



- e) The excavated material shall not be placed within 1.5 meters of the edge of the trench or half of the depth of trenches whichever is more. All trenches and excavations shall be provided with necessary fencing and lighting.
- f) Every opening in the floor of a building or in a working platform shall be provided with suitable means to prevent the fall of person or materials by providing suitable fencing or railing whose minimum height shall be one meter.
- g) No floor, roof or other part of the structure shall be so overloaded with debris or materials as to render it unsafe.
- h) Workers employed on mixing and handling materials such as asphalt, cement mortar or concrete and lime mortar shall be provided with protective footwear and rubber hand-gloves.
- i) Workers engaged in welding works shall be provided with welder's protective eye-shields and gloves.
- j) (1) No paint containing lead or lead products shall be used except in the form of paste or ready-made paint. (2) Workers should be supplied suitable facemasks for use when the paint is applied in form of spray or surface having lead paint dry rubbed and scrapped.
- k) All equipment's, tools, hoisting machines and tackle including their attachments, Anchorage, ropes and supports shall be maintained in perfect condition and Inspected by the contractors engineer every week,

#### **4.3.4 Shop Drawings:**

The contractor shall depute adequate number of experienced staff with the necessary equipment required for preparing 'SHOP DRAWING' if and when required, giving working details to suitable scales such as working details shall be prepared by the contractors from time during execution of the work as may be required by the Clerk of work /Architects without any extra cost to the employer and shall be. Approved by the Architects/Clerk-of-work before undertaking any particular item of work.

#### **4.3.5 Protection Screen**

The, contractors shall at his cost erect all necessary protection scaffolds, nets, screen as approved by the architects particularly on the exterior face of the building to adequately protect the lower floor and people/property on the ground during the progress of work.

**4.3.6** Prior to commencing work or any part of work, the contractor shall confirm having at site the. Specified materials required for each Item of work having made firm arrangements for timely supplied of such materials. If any specified item is not available, the Architects must be advised immediately.

**4.3.7** The contractor carrying out the above work shall jointly plan and work out a program for the execution of the work with all other contractors if any, In consultation with Architects. No extra claim for such co-ordination shall be entertained. If any part of the contractor's work depends upon the proper execution of the work of another contractor, the contractor shall Inspect and promptly report to the Architects / Employer and/or Clerk-of-work any defects In such work that render It unsuitable for such proper execution. The contractor's failure to Inspect and report shall constitute an acceptance of the other contractors work as fit and proper for the reception of his work.

#### **4.4.0 Financial Conditions: (Explanation of Appendix)**

**4.4.1 Earnest Money :** Intending tenderer shall pay as earnest money a sum of Rs.35000.00- which amount should be drawn by a Pay order/Demand Draft In favor of UNION BANK OF

**INDIA.” payable at Mumbai.** A tender, which is not accompanied by earnest money, will not be considered. After the finalization of contract, the earnest money will be returned to the tenderers if his tender is not accepted and without any Interest. The earnest money deposit of the successful tenderer. Will be adjusted towards the security deposit payable per clause 4.2.2 below. The Earnest money will be forfeited if the contractor fails to start the work and /or fails to enter into agreement and /or fails to pay security deposit.

#### **4.4.2 Security Deposit:**

**The Successful tenderer shall within a week of receipt of the Acceptance of the tender by the owner /Architects, deposit with UBI, South regional office, the owners, a sum equal to 5% of the accepted tender value as security deposit or as mentioned in the relevant Tender, in form of Draft or Fixed deposits.** in addition to the earnest money deposit EMD of Rs ----- for the proper execution and the due fulfillment the initial security deposit. The Security deposit may be given in the form of bank guarantee of any nationalized bank .No interest shall be paid to the contractors for this deposit Retention from the running bills will also form part of the total security deposit as detailed below.

#### **4.4.3 Retention:**

In addition to the money paid as initial security deposit, an additional security for the **fulfillment of the contractor 8% of the value of the work done** will be deducted from each payment made against running account bills to the contractor until limit of retention per memorandum (appendix).

#### **4.4.4 Refund of Security Deposit and Retention:**

On issue by the Architects of the certificate of the virtual completion of the work, the .The contractor would be paid with in thirty days period 50% of the total security deposit including retention and balance will be retained till the expiry of the defect liability, period. This balance amount will be released by the owners on issue of final completion certificate by the Appointed Architects who concluded the Project, as a certification towards compliance of all conditions of contract by. the contractor including attending all defects noted during the defect’s liability period. The earnest money deposit, the security deposit and the retention money of the successful tenderer will be forfeited If he fails to comply with any of the conditions of the contract

#### **4.4.5 WATER FOR PROJECT USAGE:**

The Owners i.e. (UBI) shall provide from the available civic supply on site all WATER FOR CONSTRUCTION and labor use FREE OF COST subject to availability and pay for the municipal charges for water and sewerage if any. If water is required to be brought from outside the contractor shall make all arrangement at his cost either by obtaining separate municipal connection, or by buying water through tankers. In any case the contractor shall make at his cost all arrangements for conveying, storing and pumping water wherever required. Owners reserve the right to restrict or cancel the supply depending on availability of spare water and the contractor is bound to carry out the work by making his own arrangement for supply of good quality water for construction as well as for labour use and shall pay all charges in connection with it. It must be clearly understood that employer’s willingness to supply water does not dissolve the liability of the contractor In any way for providing all required water and the employer shall not be liable any charges in connection therewith.

#### **4.4.6 ELECTRIC SUPPLY:**

The Owners i.e. the Competent Authority shall provide from the available civic supply on site all ELECTRIC SUPPLY for work and Labour use FREE OF COST. The contractor shall make all

arrangement at his cost including cable works, protection, light fittings etc. from the supply source to the various locations as required. Owners reserve the right to restrict or cancel the supply depending on availability and the contractor Is bound to carry out the work by making his own arrangement for supply of electricity for construction as well as for labour use and shall pay all charges In connection with it. It must be clearly understood that employer's willingness to supply electricity does not dissolve the liability of the contractor. in any way for providing all required electricity and the employer shall not be liable to pay any charges In connection therewith.

#### **4.4.7 Penalty For Delayed In Work (Liquidated Damages):**

In case the Contractor fails to complete the work under contract in the specified period he shall pay or allow to the Owner the sum as Liquidated Damages @ the rate of Rs 1000/- per day for the period during which the said works shall so remain incomplete, until limit of amount per Memorandum (appendix.). The Owner may, on the delay report submitted by the Project Consultant/ Architect, may deduct such damages from 'any moneys due to the Contractor. However the maximum amount of penalty for delay will not be more than 10% of the project value. The Architect/Consultant will have the prerogative to decide the Penalty by levying the delay clause as he deems so, pertaining to the factual status of delay.

#### **4.4.8 Defects Liability Period:**

Any defect, shrinkage, settlement, or other faults which may appear within the "Defects Liability Period" stated In the Appendix/Memorandum of this tender or, if none stated, then within 12 months after the virtual completion of the works, arising in the opinion of the Architect from materials or workmanship not In accordance with the contract shall upon the directions in writing of the Architect, and within such reasonable time as shall be specified therein, be amended and made good by the Contractor, at his own cost and in case of default the Owner may employ and pay other persons to amend and make good such defects, shrinkage, settlements or other faults, and all damages, loss and expenses consequent thereon or incidental thereto shall be made good and borne by the Contractor and such damage, loss and expenses, shall be recoverable from him by the Owner or may be deducted by the Owner upon the Architect's Certificate In writing from any money due or that may become due to the contractor or the Employer may In lieu of such amending and making good by the Contractor deduct from any moneys due to the contractor a sum, to be determined by the relevant project Consultant/ Architect, equivalent to the cost of amending such work. The final Defect Liability Amount will be released by the Owner on certification letter issued by the relevant Architect / Firm/ Company under whose regime the works were completed.

#### **4.4.9 Virtual Completion Certificate**

The works shall not be considered as completed until the Architect has certified In writing that they have been virtually completed and the Defects Liability Period shall commence from the date of such Certificate.

#### **4.4.10 Insurance Policies:**

The Contractor after receiving the intimation, of acceptance of his tender by the Owners, shall take out following INSURANCE POLICIES from an office approved by the architect in the joint names of the Owner and Contractor (the name of former being placed first In the Policy). The policies shall be kept valid until the Virtual Completion of the Contract. The contractor shall deposit the policy and receipts for the premiums with the Architect before commenting the work.

- 1) All Risks Insurance Policy to cover Completed work, material and equipment brought at site from Fire, Storm/ Tempest /Hurricane/Typhoon / Cyclone Collapse, Theft /Burglary.
- 2) Ground Party Insurance Policy:

- For Accidental loss or damage caused to the property of other persons.
- For fatal or non-fatal Injury to any person other than Insurer's own employees or workmen of employees of the employer of the Works or Premises or other Firms connected with any other construction work thereon, or member of the Insurer's family or of any of the aforesaid; directly consequent upon or the solely due to the construction of any property described In the Schedule.

Limit of Indemnity In respect of any one of the accidents or series of accidents arising out of one event, the amount is Rs.5,00,000/-

### 3) Workmen's Compensation Insurance per Local regulations.

#### 4.5.0 Material;

##### 4.5.1

The successful tenderer should make his own arrangements to obtain all the material required for the work. **The contractor shall have to pay all related Taxes, GST, etc. or any other duty levied by the Govt. or Public bodies.** The contractor to take a prior approval of the deviated items, if being used than that mentioned in the list provided, the material to be used comply with the ISO or equivalent standardization, only.

##### 4.5.2

Prior to commencing work or any part of work, the contractor shall confirm having at site the specified materials required for each item of work having made firm arrangements for timely supply of such materials. If any specified Item is not available, the Architects must be advised immediately. The Architect in such a case is empowered to change the make of items and replace it with another equivalent make. Any major change or deviation in Amount of the Bill on the usage of the prescribed material will be worked out by the Architect/ consultant who on his advice after taking the consent of the Authorities may permit the changes of the item. However its his prerogative to allow the minor changes.

#### 4.5.3 Materials usage at Site/Their approvals

Contractors shall procure samples of all items listed in schedule of quantities. The samples shall be submitted to Architects for approval. The work for the bulk quantities shall be commenced only after approval of the samples by the Architects / Consultants / Bank. However, in case if the material mentioned in the approved list is unavailable or is available at very increased rates than in that case the Contractor can request the Architect for issuing or changing the make as per the readily available material near the Site/region/proximity area. But usage of the material without having the written consent of the Architect will lead to flaw in using the material for which the items will have to be dismantled and replaced by the Material list provided or the Penalty will be levied by the Architect for deviating from the tender.

#### 4.5.4 Basic Rates:

While quoting the tender, the tenderer should base his rates on the basic rates of materials given in the relevant Bill of quantities. The basic rates given below are Inclusive of all central, state. And local taxes and levies like GST, etc., as applicable, and including loading, unloading, and transportation and as received on site. The price variation adjustment will be calculated on the basis of the difference between these basic rates and the actual cost, but excluding contractor's overheads, profit etc. The Contractor Is required to purchase the mentioned materials at the most competitive prevailing market price after obtaining minimum three quotations and getting

approval for the rates from the Owners/ Architect/ consultant firm/company, in case of scarcity or unavailability of the mentioned make of material, but only after taking the written consent from the Architect/ Consultant firm/ Company.

Any, substantial Increase or decrease over and above 5% In the cost of the above-mentioned materials and those specified In bill of quantities as finally selected and approved shall be adjusted to the contractors bill, it may be noted that claim for extra will not be entertained in case of small or marginal increase or decrease in rates, Architects decision In this matter shall be final and binding without appeal.

#### **4.5.5 Storage of Materials:**

Contractor shall at his cost make all necessary arrangement for proper storage of all materials at site and store the same so that materials remain in best condition for use In the work. The contractor shall obtain all. Necessary stacking equipment, protective covers etc. The contractor shall maintain a log of all materials brought to site and removed from site. The contractor shall not remove any material brought to site without permission or instruction from the Architects/ owners.

**5.0 GUARANTEE TO BE EXECUTED BY CONTRACTORS FOR REMOVAL OF DEFECTS AFTER COMPLETION IN RESPECT OF WATERPROOFING WORKS.**

This agreement made this \_\_\_\_\_ day of \_\_\_\_\_ on Two thousand TWENTY two, between \_\_\_\_\_ of one part & \_\_\_\_\_ of another part.

**(Hereinafter called the Guarantor of the one part) and UNION BANK OF INDIA (UBI) (Hereinafter called UBI of the other part).**

WHEREAS THE AGREEMENT is supplementary to a contract (hereinafter called for contract) dated and made between the GUARANTOR of the one part and UBI of the other part, where by the Contractor interilic, Undertook to render the structures (pavements) on the said contract recited completely water and leak proof.

AND WHEREAS THE GUARANTOR agreed to give a guarantee to effect that the said structures (pavements) will remain water and leak proof for Ten years from the date of giving of water proof treatment.

NOW THE GUARANTOR hereby guarantees that water proofing treatment given by him will render the structure completely leak proof and the minimum life of such water proofing treatment shall be 10 years to be reckoned from the date after the maintenance period prescribed in the contract.

Provided that the guarantor will not be responsible for leakage caused earthquake or structural defects or misuse or alteration and for such purpose:

A] Misuse of structure (pavement) shall mean any operation which will damage water proofing treatment, live chopping of fire wood and thing of the same nature which might cause damage to the same.

B] Alteration shall mean construction of any additional structure or part thereof or whereby water proofing treatment is removed in parts.

C] The decision of the Engineer-in-charge / Authorized Official of UBI with regard to cause of leakage shall be final.

During this period of guarantee the guarantor shall make good all defects and in case of any defect being found render the structure(pavement) water proof to the satisfaction of the Engineer-in-charge / **Authorized Official of UBI** at his cost and shall commence the work for such rectification within seven days from the date of issue of the notice from the Engineer-in-charge/ **Authorized Official of UBI** calling upon him to rectify the defects falling which the work shall be got done by the Department by some other contractor at the Guarantor's cost and risk. The decision of the Engineer-in-Charge / **Authorized Official of UBI** as to the cost, payable by the guarantor shall be final and binding.

That if the guarantor fails to execute the water proofing or commits breach there under then the guarantor will indemnify the principal and his successors against all loss, damage cost expenses or otherwise which may be incurred by him by reason of any default on the part of GUARANTOR in performance and observance of this supplementary agreement as to the amount of loss and/or

damage and/or cost incurred by UBI the decision of the Engineer-in-charge / **Authorized Official of UBI** will be final and binding on the parties.

IN WITNESS WHEREOF these presents have been executed by the obligator \_\_\_\_\_ And by and for and on **behalf of UBI** on the same day, month and year first above written.

SIGNED, sealed and Delivered by (OBLIGATOR) in the presence of

1.

2.

Authorized Signatory of UBI.

SIGNED FOR AND ON BEHALF OF UBI BY

\_\_\_\_\_ .

In the presence of:-

1.

2.

## 6.0

### **MEMORANDUM (Appendix)**

- 6.1** Date of commencement of Work. : Within 7 days after issue of work order/  
Tender acceptance or handing  
over site whichever is earlier.
- 6.2** Date of completion of Work: Two months from date of Commencement.
- 6.3** Defect Liability period : 12 months after completion of  
Work per Virtual Completion Certificate.
- 6.4** Agreed liquidated damages for. : Rs.1000/- per day subject to max. 10% of the  
Delay In completion of work. Contract Value Amount.
- 6.5** Earnest Money Deposit: Rs. 35000 .00
- 6.6** Security Deposit Amount, 5 % of Accepted tender (Including deposited EMD Amount
- 6.7** Retention Percentage and Limit : 8 % of the gross certified value of each interim bill.
- 6.8** Refund of Retention Amount & : 50% after virtual completion certificate & balance  
Security Deposit defects liability period. After completion of defect liability period
- 6.9** Minimum Value of work for : Rs. 5, 00.000/- (Rupees five Lakhs)  
Interim Bills.
- 6.10** Period for honoring Interim : within 7 days of Issue of Certificate by Architect  
Certificate. .
- 6.11.** Period for honoring Virtual Completion within 30 days of Issue of Certificate by Architect  
Certificate and refund of Security Deposit.
- 6.12.** Validity period for Tenders ... : 90 days from the date of opening of the priced  
Bid of the tender.

**Note – If the vendor quotes an amount which is (+/-) above or below than 15% of the approved estimate of works than he will have to submit a Performance Bank guarantee for an Amount equivalent to 10 % of the Project estimate along with the reasonable reason for the quoted rates within 7 days from the date of receiving the letter from the Regional office. The justification of the rates quoted will be authenticated by the appointed Architect/consultant of the Project. The unjustified quoting of rates may result in the selection of the L2 Vendor. The Amount will be released after the release of Virtual Completion certificate by the**



Architect/ Consultant only. However, if the Vendor fails to adhere with the Terms & conditions of the Tender or compromises with the quality of the raw material or the finished goods than the Project Architect/ Firm/ Consultant Company may submit the report based on which the Bank may on its discretion forfeit or absolve the amount on the basis of noncompliance of the tender conditions to which the Vendor firm will have no disagreement.

**Measurements** – The measurements will be done as per the prevailing Indian Code of measurements of the related works. The measurements sheets will be submitted by the Vendor with the supportive documents for the purpose of realization of the Bills. The copies will be submitted in the Hard copy form along with a soft copy in pen drive. The standard practice for the measurements of works as followed under BIS Code will be followed with the subjected works. The vendor will have to submit the Bill as desired in the tabulated tendered Format. Of the Bill of Quantities.

**ARTICLES OF AGREEMENT**

Articles of AGREEMENT made at Mumbai this ..... day of 2022, **BETWEEN UNION BANK OF INDIA, Mumbai —400023**, hereinafter referred to as the EMPLOYER Expression shall include his executors, administrators and assigns) Are part and -----  
 -----hereinafter referred to as the 'CONTRACTOR expression shall include his heirs, executors, administrators and the other part.

The EMPLOYER is desirous of civil repairs and renovations to the -----**Premises of** -----, Mumbai, hereinafter referred to as ----- -work  
 And has caused Specifications and , describing ----- works to be carried out, to be prepared by Architects M/S Bhawana Enterprises Pvt Ltd.-----The contractor has agreed, subject to the conditions set forth -----to execute and complete the said work as per the Drawings,----- Instructions and as per the respective rates incorporated In ----- of probable quantities and rates as herein under written.

**HEREBY AGREED AS FOLLOWS:**

-----Consideration hereinafter mentioned, subject to the Conditions of ----- Bill & Quantities, Preliminaries, Special Conditions and ----- And the Memorandum the Contractor shall undertake, carry ----- and Complete the work shown upon the drawings and described by or----- to In the Bill of Quantities, Preliminaries and Instructed by the ----- (Whether mentioned anywhere herein or otherwise) for due ----- of the work so a to conform to the provisions of the said ----- Specifications, Special and General Conditions of contract -----.

The said Drawings, Instructions, Specifications, Preliminaries, Tender ----- Memorandum, General and Special Conditions of Contract and -----f (probable) Quantities (hereinafter collectively referred to as the --- OF CONTRACTS) shall be read and construed as forming part of agreement and parties hereto shall respectively abide by and submit selves to them and perform the agreements on their parts -----

The contract Is not a fixed lumps contract, but essentially an Item rate -----to carry out all the, work In respect of all the Items required for -----of the work and other buildings and their, services, to be actual measured quantities and rates ,or as provided In the,-----

The employer /Architect reserve the right to alter the drawings and the quantum of any or various items of work, without prejudice` to the said terms of contract.

----shall be considered as the essence of this agreement and the contractor hereby agree to commence and complete the work as provided the said terms of contact.

All the disputes arising out of or in any way connected with this agreement shall be deemed to have arisen in the city of Bombay.

THESE ARTICLES OF AGREEMENT AND THE TERMS OF CONTRACT HAVE -----READ TO US AND FULLY UNDERSTOOD BY US,

WITNESS the hands of the parties.

By the said Employer.

Presence of

-----WITNESS  
 -----)

By the said Contractor

Presence of

-----WITNESS  
 -----)

**8. SETTLEMENT OF DISPUTES: -**

### Excepted Matters

If any dispute or difference pertaining to the undernoted matters arises, the decision in writing of the supervising Architect/their representative / Bank's General Manager shall be, conclusive and binding on the Contractor/ s.

- a) Written Instructions.
- b) Permissions from Local Authorities.
- c) Proof for quality of materials and the works.
- d) Assigning or subletting of the contracted works.
- e) The causes of delays and extension of time.
- f) Rectification of defects during the progress and Defects Liability Period.
- g) Contractors' due diligence care and supervision at the works.
- h) Measurements of works.
- i) Reports on quality and progress of works.
- j) Contractor's abandoning of the contract, partially / fully.
- k) Notice of termination / determination of the contract by the Employer.

### **9.0 ARBITRATION:-**

All disputes or difference of any kind whatsoever (except for excepted matters vide Clause No. 8 earlier) which shall at any time arise between the parties hereto touching or concerning the works or the execution or maintenance thereof of this contract or the rights touching or concerning the works or the execution of maintenance thereof of this contract or the construction remaining operation or effect thereof or to the right or liabilities of the parties or arising out of or in relation thereto whether during or after determination foreclosure or breach of the contract (other than those in respect of which the decision of any person is by the contract expressed to be final and binding) shall after written notice of 60 days by either party to the contract to the other of them and to the Employer hereinafter mentioned be referred for adjudication to a **Sole Arbitrator** to be appointed as per the provisions of law.

If the Arbitrator so appointed is unable or unwilling to act or resigns his appointment or vacates his office due to any reason whatsoever another Sole Arbitrator shall be appointed as per the Law.

The work under the Contract shall, however, have to continue during the Arbitration proceeding and no payment otherwise due to the Contractor shall be withheld on account of such proceedings.

The Arbitrator shall be deemed to have entered on the reference on the date he issued to both the parties fixing the date of the first hearing.

The Arbitrator may from time to time, with the consent of the parties, enlarge the time for making and publishing the award.

The Arbitrator shall give a separate award in respect of each dispute or difference referred to him. The Arbitrator shall decide each dispute in accordance with the terms of the contract and give a reasoned award. The venue of arbitration shall be such place as may be fixed by the Arbitrator in his Sole discretion.

The fees, if any, of the Arbitrator shall, if required to be paid before the award is made and published, be paid half and half by each of the parties. The cost of the reference and of the award including the fees, if any, of the Arbitrator who may direct to and by whom and in what manner, such costs or any part thereof shall be paid and may fix or settle and amount of costs to be so paid.

The award of the Arbitrator shall be a reasoned Award.

Subject to aforesaid, the provisions of the Arbitration and Conciliation Act, 1996 or any statutory modification or re-enactment thereof and the rules made there under and for the time being in force, shall apply to the Arbitration proceeding under this clause.

The Employer and the Contractor hereby also agree that arbitration under clause shall be a condition precedent to any right to action under the contract with regard to the matters hereby expressly agreed to be so referred to arbitration.

# **10. LIST OF APPROVED AND NOMINATED MANUFACTURES / SUPPLIERS OF MATERIALS** **Approved List of Civil/ Interior Materials**

01	COMMERCIAL PLY (MR-303) :	Amulya/Century/Pro Plus of Amby Enterprises
02.	LAMINATES (1.5mm/1.00mm thk) :	Pro plus / Royal Touche/ Century / Amulya
03.	PARTICLE BOARD (Exterior Grade / Interior Grade) :	Pro-plus/Amulya/Century.
04.	VENEER :	Pro-plus/Amulya/Century.
05.	WOOD (Well-Seasoned) :-	C.P.T.W. / Malayasian Sall, Steam beech wood /African
06.	SCREWS, NAILS & OTHER ACCESSORIES	:- SS Screws & Nails ,GKW/Nettle Fold or Equivalent.
07.	BRASS HINGES (Heavy Duty) :-	Reliance / Janata / Venus / Vijayan / Punit Earl – Bihari.
08.	DRAWER SLIDING FITTINGS (TELESCOPIC) :-	Earl –Bihari (EBCO) / Godrej / Efficient Gadgets / Kich.
09.	HARD WARE :-	Godrej/haffle/Hettich/Ebco or equivalent
10.	DRAWER SHUTTER / LOCK :-	Godrej/haffle/Hettich/Ebco or equivalent
11.	BALL CATCH :-	Magnetic (M.2.) / Brass
12.	DOOR LOCK / HANDLES :-	4-C Acme, Golden., Godrej, Ultra, Neki / Kich.
13.	DOOR CLOSER :-	Dorma/Euro/Ozone/Enox/Ebco/Hamco
14.	FLOOR SPRING :-	Dorma/Euro/Ozone/Enox/Ebco/Hamco
15.	ADHESIVE :-	Favicon/Araldite/Anchor or Equivalent
16.	STAINLESS STEEL :-	Salem / Japan 16 gauge thick.
17.	GLASS TINTED / MIRROR :-	Modi Guard/ Saint Gobian / Asahi India
18.	GLASS TINTED :-	Modi Guard / Saint Gobian / Asahi India
19.	MELAMINE ACRYLIC POLISH :-	Asian / British Paint / Fevelite.
20.	ALUMINUM GRILL :-	Alumgrill

21.	P.V.C. Flooring	:-	Hanwha / Armstrong / L.G.
21a.	WOODEN LAMINATE FLOORING	:-	Pergo/Armstrong/Euro/Squarefeet
21b	FALSE FLOORING	:-	D.G. / NEP Floor /
22.	PAINTS		
22a.	Plastic Emulsion	:-	Asian/Nerolac/Dulex/Berger or equivalent.
22b.	Synthetic Enamel Paint	:-	Asian / Goodlass Nerolac / British Paint.
22c.	Texture Paint	:-	Birla / Nitco / Spectrum
23.	CEMENT PAINT	:-	Snowcem, Nitcocem, Birla, ICI, Asian, Nerolac, British.
24.	ALUMINUM METAL FALSE CEILING	:-	Armstrong/Unimech/AMF
25.	FIBRE MINERAL FALSE CEILING	:-	Hunter Douglas / Jolly Board / AMF
26.	ALUMINUM DOOR & WINDOW SECTION	:-	Jindal / Indal / Geeta
27.	UPHOLSTERY	:-	Golden / Vimal / Orkay / Raymond / Champagne.
28.	WOOD PRESERVATION of India	:-	Asian Paints / British Paint / Pest Control
29.	VERTICAL BLINDS	:-	Vista, Mac, Luxaflux, Aerolux.
30.	VENETIAN BLINDS	:-	Vista, Mac, Luxaflux, Aerolux.
31.	CEMENT	:-	Ultratech/ACC/JK Cement/Ambuja
32.	SUN CONTROL FILM	:-	Garware / Birla 3M
33.	STAINLESS STEEL SINK	:-	Nirali / Diamond.
34.	PLANTS (Artificial)	:-	China / Taiwan.
35.	PICTURES	:-	Selection from Sadguru & Paint Rhythm.
36.	AIR CURTAIN	:-	Air Pack / Crompton / Russel.
37.	CARPET	:-	Unitex/Armstrong or equivalent
38.	CASTORS	:-	Relaxo / Paramount.
39.	CERAMIC TILES/ (Flooring)	:-	HR Johnson/Kajaria/Nitco/ASL or equivalent

40.	CERAMIC TILES (Dado)	:-	HRJohnson/Kajaria/Nitco/ASL or equivalent
41.	VITRIFIED FLOORING	:-	HR Johnson/Kajaria/Nitco/ASL or equivalent
41.	GRANITE TILES	:-	South Quarrys (Banglore / Manglore)
42.	“U” FOAM	:-	Prince / Supreme / Swastik.
43.	POLYURETHANE FOAM	:-	Sleepwel
45.	SOFT BOARD	: -	Jolly Board
46.	GLASS WOOL	: -	Fibre Glass / Pilkington.
47.	ALUMINUM COMPOSITE PANEL	:-	Al-Strong / Alucobond / Allu-bond/Flexi Bond
48.	TOUGHENED GLASS	:-	Saint-Gobain/Indo Asahi/Modi or equivalent
49.	ACRYLIC SOLID SURFACE (KORIAN)	:-	Dupoint/Merino/Hi-Mac or equivalent

## **MODE OF MEASUREMENT FOR PAYMENT**

01.	Counter	:- Running length along center of the depth of the counter.
02.	Cash	:- Running length along center of the depth of the counter.
03.	Wicket Gate	:- Width X Height
04.	Partitions	:- Length X Height up to the soffit of false ceiling including door frames and doors.
05a.	Paneling with Laminate	:- Length X Height up to the soffit of false ceiling.
05b.	Paneling with T.W. Moulding	:- -do- (including cost of T.W. moulding).
06.	Hexagonal surface	:- Overall external periphery X Height.
07.	Round Surface	:- Length of circumference X Height.
08.	Door	:- Main entrance – Glass – Shutter Length X Height.
09.	Tables	:- In No.
10.	Storage	:- Length X Height.
11.	Sofa	:- Length including armrest – externally measured.
12.	Sofa Chairs	:- Unit
13a.	Galvanized False Ceiling	:- Galvanized bottom surface Length X Breadth
13b.	Plaster of Paris False Ceiling	:- Exposed surface – including moulding (No additional payment will be made for moulding)
13c.	Acrylic False Ceiling	:- Length X Breadth.
14.	Wall Curtain (Window)	:- Finished Length X Finished Height.
15.	Vertical Blinds	:- Actual size of vertical blinds
16.	Notice Boards Etc.	:- Unit / No.
17.	Steel Monogram	:- Unit



18.	Steel letters of various heights	: - No.
19.	Paintings	:- a) Wall surface – Actual length X Height. :- b) M.S. Grill / Mesh / Without frame. :- c) M.S. Collapsible gate of one side. :- d) Cornice – Plain surface of P.O.P. False Ceiling. :- e) Fully paneled Door / Windows with frame :- 2.5 times area of one side. :- f) Partly Paneled / Partly glazed doors windows, partitions with frame and shutters :- 2 times area of one side. :- g) Fully glazed Window / Partition with frame and shutters :- 1 time area of one side.
20.	Granite Flooring	: - Finished Length X Breadth.
21.	Granite in Design	: - Finished Length X Breadth.
22.	Italian Marble	: - Finished Length X Breadth.
23.	P.V.C. Flooring	: - Finished Length X Breadth.
24.	Brick Wall	: - Length X Breadth X Height.
25.	Tiling Dado	: - Length X Breadth.
26.	Pantry Counter With Sink	: - Finished length in Running Fit including sink and tiling dado.
27.	Step / Riser	: - Square Ft.
28.	Breaking	: - Lump Sum.
29.	Fibre Glass Roof	:- Length X Breadth of bottom surface only. :- (No. Curvature shall be considered)
30.	Water proofing on Terrace, Toilet Blocks.	:- Length X Breadth (Area of slab in plan :- wata will not be separately) :- Water proof plaster – Length X Height.
31.	Name Board	:- Length X Height :- (No extra payments for brackets etc.)

32. Delivery : - All delivery on site.  
:- No extra Transportation, Taxes, Octroi etc.
33. Payment : - Made only to the principal Contractor, No  
Payment shall be made to labour,  
Contractor, supplier or private financier  
etc.
34. TAXES : - Sales Tax, VAT, Turnover Tax, Central Excise  
Duty etc.

I/We hereby declare that I/We have read and understood the above instructions which have been issued as conditions of the contract.

In case any of the makes for any of the materials is missed out in the above list, then the contractor shall inform the Consultants about the same and obtain the approval. Thereafter, he can proceed with the usage of that material. .

**WITNESS**

**(Signature of the Tenderer)**

Bill of Quantities for the Refurbishment works to be Done for Khand bazar Branch ,Union Bank of India , Mumbai.

SUMMARY		
S. No.	DESCRIPTION	AMOUNT
1	Furnishing and Furniture work	
2	Civil, Paint & Polishing work	
	<b>Net Total Rs</b>	
	<b>Total Projected Cost of the Project ( Exclusive of GST ).</b>	

**Signature with seal of the tenderer**

**Bill of Quantities for the Refurbishment works to be Done for Khand bazar Branch ,Union Bank of India , Mumbai.**

	Particulars	Qty	Unit	Unit Rate (In Rs.)	Gross Total Amount
	<b>Instructions</b> - The Participating vendors are requested for filling authentic rates. If the Bank/ Architect/Consultant finds the rates to be not workable than the costing analysis will be asked by the Vendor. The cost analysis submitted by the Vendor will be analysed by the Consultant/ Architect and than only the Vendor will be authenticated the works. If the quoted rates are summarily below the rates and not as Per CVC Guidelines than the Tender may be summarily rejected. And the Bank may on its discretion provide the works to other justified vendor along with the consent of the Architect/Consultant Firm/company.				
	<b>Material</b> - The usage of the specified material will only be permitted. The Vendor will have to write a letter and submit the material samples, which will be used at site. The vendor will be required to prepare a mock up and get it approved by the Architect/Consultant. The material used without prior approval of the Architect/ Consultant will have to be replaced while the vendor the Amount of the vendors Bill will also be deducted in lieu of not following the Tender guidelines.				

**Bill of Quantities for the Refurbishment works to be Done for Khand bazar Branch ,Union Bank of India , Mumbai.**

	Particulars	Qty	Unit	Unit Rate (In Rs.)	Gross Total Amount
	<b>Furniture &amp; Furnishing jobs</b> - The works are to be carried out strictly as per the drawings and designs provided. The contractor will be required to submit the Pert Chart for completing the jobs.. This is the prestigious project and has to be carried out on fast Track basis. The time of Completion will be the essence of this project. The costing of the commodities as under stated is based on the ISO STANDARD of the materilas specified in the Tender. The Wodden Ply and Block boards used in this works will be that of IS 303 BWR Grade. The makes of the material are specified in the Tender. The contractors will be required to get the samples checked and approved by the consultant/owner. The approved usage of the materials will only be permitted, the failure, if found will lead to the either the imposition of the penalty or the restructuring of the commodity as per the given specification. This will be the sole prerogative of the ARCHITECT/CONSULTANT FOR WHICH THE CONTRCTOR/VENDOR has no right by whatsoever means to seek the intervention of court etc as this will be treated as the infringement of the Articles of the Tender specifications regarding the usage of material.				
	<b>Furnishing and Furniture work:</b>				
1	<b>Full Height Cabinet :</b> Basic Material to be used. This is to be made up of 19 mm thick Block Board of approved make and Confirming to ISO Standard of Com Grade, basic cost @ 60/ Sq.ft Com Grade 9mm Ply, basic cost @ 40/ Sq.ft., 1 mm thick approved laminate of approved color /shade basic Cost @ 45/Sq.ft. while the internal surfaces will be finished by using 0.8mm thick laminate made, basic cost @ 35/Sq. ft. Wiper Paint, Com grade adhesive, Hardware's of a reputed make of SS Finish. Glass 10 mm/ Transparent Sheet, Wooden Beadings & Moldings of Steam beach. Melamine Polish on the wooden item.	42	sqft		

**Bill of Quantities for the Refurbishment works to be Done for Khand bazar Branch ,Union Bank of India , Mumbai.**

	Particulars	Qty	Unit	Unit Rate (In Rs.)	Gross Total Amount
	<b>Full Height Cabinet:</b> P/F of Full Height Storage as shown in the Design/Drawing. Complete Article is to be made up of 19mm Block board, while the 9mm Ply to be used on the back/ dead end facing the wall. The internal Partition with in the storage unit are to be made by using 19mm thick Block Board with adjustable fitting. The Height of the storage unit should not be less than 7' from the ground level. All the Hardware such as 6" Handles, Tower bolt, Latches, Magnet catcher, Locks etc. should be of SS Finish. The exposed external surfaces of the cabinet will be finished by using 1 mm thick approved laminate of approved color /shade basic Cost @ 45/Sq.ft. while the internal surfaces will be finished by using 0.8mm thick laminate made, basic cost @ 35/Sq. ft. All the works are to be finished to the satisfaction of the Architect/bank. The mode of measurement will be done by calculating the front finished surface area (width x height).The Skirting to be made as shown in the drawing. Approved shade melamine Polish to be done on the Article, whenever required.				
	Specialty Features – As shown in the Drawing the cabinets from the outskirts will be provided with a cavity on the top side so as to conceal the 3" dia eyeball lights within the provided cavity. The External Doors will have the Part block covered by transparent sheet or the Plain Glass of 10 mm thick having internal cavity to Put the Cabinet Name/ Inclusions from within with a LED Light fixed in the 1" taper Beading, from within the internal Area. Wiper Paint will be required to be done on all the wooden materials to induce Fire resistance to the wood. Nothing Extra – No extra payments will be made to the vendor on Account of Providing the help to the electrical vendor wherever, required.				

**Bill of Quantities for the Refurbishment works to be Done for Khand bazar Branch ,Union Bank of India , Mumbai.**

	Particulars	Qty	Unit	Unit Rate (In Rs.)	Gross Total Amount
2	<b>Low Height Storage / Base Cabinet:</b> This is to be made up of 19 mm thick Block Board of approved make and Confirming to ISO Standard of Com Grade, basic cost @ 60/ Sq.ft Com. Grade Ply 9 mm Ply, basic Cost @ 40 Sq.ft., 1 mm thick approved laminate thick Laminate of approved color /shade basic Cost @ 45/Sq.ft. while the internal surfaces will be finished by using 0.8mm thick laminate made, basic cost @ 35/Sq. ft. Wiper Paint, Com grade adhesive, Hardware's of a reputed make of SS Finish. Glass 10 mm/ Transparent Sheet, Wooden Beadings & Moldings of Steam beach. Melamine Polish on the wooden item.	225.66	Sqft		

**Bill of Quantities for the Refurbishment works to be Done for Khand bazar Branch ,Union Bank of India , Mumbai.**

	Particulars	Qty	Unit	Unit Rate (In Rs.)	Gross Total Amount
	<b>Low Height Cabinet</b> :- Providing and Supplying low height storage units as per detail drawing .The approved made top Shutter sides and shelves are made of 19 mm thick com. grade block board. .The back of storage unit made of 9mm Com grade ply. Margins, beadings, molding made of 1st class steam beach wood as shown in drawing all the exposed external surfaces are to be finished with 1 mm thick laminate of approved make and shade while the internal portion of storage unit shall be finished with .8 mm thick laminate of approved make and shade. Margins, Beading, Molding will be finished with PU/melamine polish of approved shade/color. The storage unit consist of one drawer running on telescopic channel and one Shutter hanging on earl Bihari hinges as shown in detailed drawing. The Block cavity in order to insert the name of the cabinet and the inclusions will be made/ encased by the wooden melamine beading. It will be covered. This block will be covered by the use of 10mm Plain Glass/ transparent sheet. Nothing Extra -Encasing of all the electrical works such as providing & Tress passing of conduits etc. are the part of the works. Hence nothing extra will be paid for this works. The storage unit will be measured on front finish surface area (length x height). The work shall be completed as per specification and as per instructions of Architect / Bank.				



**Bill of Quantities for the Refurbishment works to be Done for Khand bazar Branch ,Union Bank of India , Mumbai.**

	Particulars	Qty	Unit	Unit Rate (In Rs.)	Gross Total Amount
3	<b>Low height Partitions :-</b> Basic Material to be used. This is to be made up of Aluminum Box Section 40 X 40 mm, 19 mm thick Block Board of approved make and Confirming to ISO Standard of Com Grade, basic cost @ 60/ Sq.ft Com Grade 9mm Ply, basic cost @ 40/ Sq.ft., 1 mm thick approved laminate thick Laminate of approved color /shade basic Cost @ 45/Sq.ft. Wiper Paint, Com grade adhesive, Hardware's of a reputed make of SS Finish. Etched pencil molded Glass 10 mm/ Transparent Sheet, steel Spacers, Wooden Beadings & Moldings of Steam beach. Melamine Polish on the wooden item.	156	Sqft		

**Bill of Quantities for the Refurbishment works to be Done for Khand bazar Branch ,Union Bank of India , Mumbai.**

	Particulars	Qty	Unit	Unit Rate (In Rs.)	Gross Total Amount
	<p>Low height Partitions :-Providing and fixing low height partition having frame of 40" x 40 "mm horizontally and vertically rigidly ( 24 " or 600 mm ) from center to center or as shown in the design ) fixed with floor walls as applicable The frame shall be covered with 6mm thick com grade ply of approved make from both the side and finished with 1 mm thick approved laminate thick laminate of approved make and shades /colors .The Low Height Partition will have a piece of Granite ( 4" width laid on the Top of the Partition ,with the Com Grade Board affixed on the Top as an under support of the Granite . This Granite Piece will be having half molding edges on all the exposed edges, mirror polish will be done on it. Beading, Molding edges are to be made of 1ST class steam beach wood PU/Melamine Polish is to be done on the exposed wooden section. This Glass will be required to have etching/frosting works as detailed / instructed by the Architect. Carried out as per the instructions mentioned in the Tender/ instructions of Architect / Client. Nothing Extra - Encasing of all the electrical works such as providing &amp; Tress passing of conduits etc. are the part of the works. Hence nothing extra will be paid for this works. The Entity will be measured on front finish surface area (Width x height). The work shall be completed as per specification and as per instructions of Architect / Client.</p>				

**Bill of Quantities for the Refurbishment works to be Done for Khand bazar Branch ,Union Bank of India , Mumbai.**

	Particulars	Qty	Unit	Unit Rate (In Rs.)	Gross Total Amount
4	<b>Full Height Partly Glazed Partition:-</b> Basic Material to be used. This is to be made up of 19 mm thick Block Board of approved make and Confirming to ISO Standard of Com Grade, basic cost @ 60/ Sq.ft Com Grade 6mm Ply, basic cost @ 40/ Sq.ft., 1 mm thick approved laminate of approved color /shade basic Cost @ 45/Sq.ft. while the internal surfaces will be finished by using 0.8mm thick laminate made, basic cost @ 35/Sq. ft. Wiper Paint, Com grade adhesive, 18mm thick, 5” wide molded Granite frames, basic cost @ 375 Sq.ft, Hardware’s of a reputed make of SS Finish. Toughened Glass 10 mm/ Transparent Sheet, Wooden Beadings & Moldings of Steam beach. Melamine Polish on the wooden item.	188	Sqft		

**Bill of Quantities for the Refurbishment works to be Done for Khand bazar Branch ,Union Bank of India , Mumbai.**

	Particulars	Qty	Unit	Unit Rate (In Rs.)	Gross Total Amount
	<b>Full Height Partly Glazed Partition:-</b> Providing and fixing full height partition approx. 10'0"height having frame 40x40 mm Anodised ( minimum of 40 microns)Aluminum Box Section horizontally and vertically rigidly fixed (24" from center to center or as shown in the design) with floor walls as applicable. The frame shall be covered with 6 mm thick Com grade ply of approved make from both the side and finished with 1 mm thick approved laminate of approved make and shades /colors. Providing and fixing partially glazed 10mm thick glass panel of the required height from 36" to 48"/ as per site requirement or the design/details provided in the drawing/design .Steam beach beading/molding shall be finished with melamine polish of approved shades/color. The rate is inclusive of providing and fixing flush door of 35mm thick finished with 1 mm thick approved laminate thick laminate of approved make and shades /color with door frame of 5"x2 ½ thick Steam beach wood( or 18mm thick molded Granite frame ) provision to be made to run conduits for electrical data telephonic cabling etc. The rate shall be inclusive of P/f of necessary hardware fitting like door closer handle ,locks .stopper etc. of approved make . The complete works are to be carried out as per the instructions mentioned in the Tender/ instructions of Architect / Client.				

**Bill of Quantities for the Refurbishment works to be Done for Khand bazar Branch ,Union Bank of India , Mumbai.**

	Particulars	Qty	Unit	Unit Rate (In Rs.)	Gross Total Amount
	<b>Specialty Feature</b> – This may include the provision of Frames made up of Granite instead of Steam beech wood and the Provisions of the Exclusive design in the elevation Part of the Partitions, having niches and Skirting. . Nothing Extra -Encasing of all the electrical works such as providing & Tress passing of conduits etc. are the part of the works. Hence nothing extra will be paid for this works. The Entity will be measured on front finish surface area (Width x height). The work shall be completed as per specification and as per instructions of Architect / Client.				
5	Full Height Glazed Partition :- <b>Full Glazed Partition :</b> The fixed Portion in Full Glazed Partitions is structured by using Powder coated Aluminum 2 1/2 x 1 1/2 section. The Powder coating of not less than 40 microns, will be admitted. The bottom section of 100 mm will be used while for fixed frame, 2 1/2 x 1 1/2 Section will be used. Usage of EPDM rubber, Fur lining on the door edges to avoid the Air flow are the important parts of the Job. All the works to be done in perfect plumb and pin point accuracy. However the Door is to be strictly in accordance with the Partition design (or As recommended by Architect/Consultant) to be provided. The provision of all the required hardware's, Door machines, Locks etc. are the part of the Job. Etched Toughened Glass of 12mm thickness is to be used in this work. Specialty Feature – The completion of works by providing sleek looking design is the utmost priority of this design. These Partitions will require the class of Perfection and Precision to make the Partition look like a perfect opening.	0	Sqft		

**Bill of Quantities for the Refurbishment works to be Done for Khand bazar Branch ,Union Bank of India , Mumbai.**

	Particulars	Qty	Unit	Unit Rate (In Rs.)	Gross Total Amount
6	<b>Full Height Solid Partition :-</b> Providing and fixing partition upto ceiling height consisting of 50 x 50 mm Aluminum Powder coated Section sandwitched with 6mm Ply from both the sides having Laminated adhered on both the sides. The solid partitions are to have the doors of 36mm thickness with Door frame of 5 x 21/2 of Salwood Sections/ 18mm thick Granite Frames . The entire works to be done in complete order as per the satisfaction of the Architect/ Consultant. The rates include Installation of the Entire Hardwares along with SS Screws.	40	Sqft		
7	<b>Cash Counter Partitions :</b> Basic Material to be used. This is to be made up of 19 mm thick Block Board of approved make and Confirming to ISO STANDARD 303 FOR BLOCK BOARD & 9MM Ply. of Com Grade, basic cost @ 70/ Sq.ft Com Grade 9mm Ply, basic cost @ 50/ Sq.ft., 1 mm thick approved laminate of approved color /shade basic cost @ 55/Sq.ft. while the internal surfaces will be finished by using 0.8mm thick laminate made, basic cost @ 35/Sq. ft. Wiper Paint, Marine grade adhesive, 18mm thick, 5" wide molded Granite frames, basic cost @ 375 Sq.ft, Hardware's of a reputed make of SS Finish. Plain Glass 10 mm/ Transparent Sheet, Wooden Beadings & Moldings of Steam beach. Melamine Polish on the wooden item.	165	sqft		

**Bill of Quantities for the Refurbishment works to be Done for Khand bazar Branch ,Union Bank of India , Mumbai.**

	Particulars	Qty	Unit	Unit Rate (In Rs.)	Gross Total Amount
a	<b>Side:</b> As Shown in the drawing the side partition is to have opaque solid partition till the height of 46" from the ground level. It is to have 10mm plain float glass with a slit of ¾" after every 3 inch of Plain Glass Pattern, as shown in Drawing, & design. The tray for the Cheque is to be executed, as shown in the Drawing. The rates include the Melamine Polish on the wooden sections, fixing charges of the partition and finishing the work as per the design given and to the complete satisfaction of the architect/Consultant. The Height of the Partition from the Ground Level will be 84" inch.				
b	<b>Back Partition</b> The back Partition are made same as side Partition except that no glass and slit are provided in the Back Partition, in other words they are opaque or made as Solid Partition. The W.P & Termite resistant Flush doors of 35 mm thickness with their respective door frames are to be included in the quoted rates. Hard wares like Godrej Night latch lock /door closers /Mortise locks /handles /door stoppers /latches etc. are to be provided with the respective doors. The rates include the Melamine Polish on the wooden sections, fixing charges of the partition and finishing the work as per the design given and to the complete satisfaction of the architect/Consultant. The Height of the Partition from the Ground Level will be 84" inch.				

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	Particulars	Qty	Unit	Unit Rate (In Rs.)	Gross Total Amount
c	<b>Front Cash Counter Partition</b> - Cash cabin Partition: Front Partition: - The specification is similar to that of the half height partition. The significant difference is that the front part of the partition will be having 12” thick block to give 18” wide counter top at the height of 48” from the ground level. This top is to have 19mm thick Corian or as suggested by the Architect, laid on it, having double molding on its edges. The area above the counter top will be having a clear slit of 3/4” at regular intervals of 3” 10mm thick etched toughened Glass. The rates include the fixing charges of the partition and finishing the work as per the design given and to the complete satisfaction of the architect/Consultant. The Height of the Partition from the Ground Level will be 84” inch.				
8	<b><u>cash counter</u></b>				
	Basic Material to be used. This is to be made up of 19 mm thick Block Board of approved make and Confirming to IS 303 BWR GRADE , Block Board & Ply . Basic cost of BWR Grade Block Board 110/ Sq.ft , BWR Ply 9 mm thick, basic cost 60/ Sq.ft 1 mm thick approved laminate of approved color /shade basic cost @ 55/Sq.ft. while the internal surfaces will be finished by using 0.8mm thick laminate made, basic cost @ 35/Sq. ft. Plain or Textured Corian, basic cost @478/Sq.ft, Wiper Paint, Marine grade adhesive, Hardware’s of a reputed make of SS Finish. Plain Glass 10 mm thick, Wooden Beadings & Moldings of Steam beach. Melamine Polish on the wooden item.18mm thick Granite with half molding to be laid on both the compartments, basic cost @ 375/ Sq.ft.	4.5	Rft		



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	Particulars	Qty	Unit	Unit Rate (In Rs.)	Gross Total Amount
	<p><b>Cash Counter:</b> The Linear length of the front running cash counter is to be divided in two Compartments, As shown the base unit of each cash counter compartment is to have 3 drawers of equal size running on telescopic channels &amp; having individual locking system. Each drawer should have a proper segregation in its internal part made up of 9mm ply. These segregated areas are used for keeping different types of currency. These will be finished by using approved velvet Cloth. The back part of the drawer should have MS Sheet of 6 mm thick adhered for safety &amp; sandwiched in a manner to be invisible with the naked eye. Providing footrest, keyboard tray running on telescopic channels, CPU Trolley etc. is part of the fabrication. The exposed areas of this module are required to have 1mm thick laminate adhered to it, as shown in the Drawing. The internal portions will be covered by using 0.8mm thick Laminate. The rates include fixing of Hardware Margin, Molding, and Beading etc. made up of 1st class Steam beach wood. Painting on internal portion of the module by using enamel paint Melamine polish on Margin, Molding, and Beading etc. Finishing the work as per the design given and to the complete satisfaction of the architect/Consultant.</p>				

**Bill of Quantities for the Refurbishment works to be Done for Khand bazar Branch ,Union Bank of India , Mumbai.**

	Particulars	Qty	Unit	Unit Rate (In Rs.)	Gross Total Amount
9	<b>SWO Counter:</b> - Basic Material to be used. This is to be made up of 19 mm thick Block Board of approved make and Confirming to ISO Standard of Com Grade, basic cost @ 70/ Sq.ft , Com Grade 9mm Ply, basic cost @ 50/ Sq.ft., 1 mm thick approved laminate of approved color /shade basic Cost @ 45/Sq.ft. while the internal surfaces will be finished by using 0.8mm thick laminate made, basic cost @ 35/ft, Wiper Paint, Marine grade adhesive, Hardware's of a reputed make of SS Finish. Molded Glass 10 mm thick/ Transparent Sheet, Wooden Beadings & Moldings of Steam beach. Melamine Polish on the wooden item. 18mm thick Granite with half molding to be laid on both the compartments, basic cost @ 375/ Sq.ft.	18	Rft		

**Bill of Quantities for the Refurbishment works to be Done for Khand bazar Branch ,Union Bank of India , Mumbai.**

	Particulars	Qty	Unit	Unit Rate (In Rs.)	Gross Total Amount
	<b>SWO Counter:</b> - Providing and fixing single window counter having Compartments or two top one at 30”from floor level & second at 40”from the floor level the SWO counters will have 3 drawers one keyboard . The exposed top will have Textured or Plain Corian .The running SWO Counter will have integral sitting at an average distance of 4ft ( approx). Therefore the provision of the modesty Panel and the compartments will be done accordingly as shown in detail drawing provided. The sittings will be disintegrated by providing Glass Partitions on the Glass Brackets . 12mm pencil molded glass to be used in these The common element will be the unilateral and uniform design of the counter which if viewed from the front elevation will look like a single commodity. The rate in inclusive of providing and fixing necessary hardware, lock etc. of SS Finish .All the arrangements like providing CPU Trolley, wire manager ,footrest etc. are to be provided . Margin beading etc. made of first class steam beach wood same will be finished with PU/Melamine polish over it. Exposed external surfaces will be finished by 1 mm thick approved laminate while internal surfaces will be finished by using 0.8 mm thick laminate of approved shades. Complete the work as per instructions of Architect /Client.				
	<u>Specialty Feature</u> – The exposed top will have Textured or Plain Corian. The table may have the niche in the Elevation, with an LED Light Provision. The entire commodity is to be made as Per the Instructions and to the satisfaction of the Architect/ Client. The finished commodity will be counted as a Single commodity. The measurements will be done on the basis of the running Length.				

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	Particulars	Qty	Unit	Unit Rate (In Rs.)	Gross Total Amount
10	<b>Table: -6'x2.5'x2'6"</b> Basic Material to be used. This is to be made up of 19 mm thick Block Board of approved make and Confirming to ISO Standard of Com Grade, basic Cost @ 60/Sq.ft, Com Grade 9mm Ply, basic cost @ 40/ Sq.ft., 1 mm thick approved laminate of approved color /shade basic Cost @ 45/Sq.ft. while the internal surfaces will be finished by using 0.8mm thick laminate made, basic cost @ 35/Sq. ft. Plain or Textured Corian, basic cost @478/Sq.ft Wiper Paint, Com grade adhesive, Hardware's of a reputed make of SS Finish, Wooden Beadings & Moldings of Steam beach. Melamine Polish on the wooden item.	1	No		

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	<b>Particulars</b>	<b>Qty</b>	<b>Unit</b>	<b>Unit Rate (In Rs.)</b>	<b>Gross Total Amount</b>
	Table: - Providing and fixing table of size 6'0"x2.5'x2'6" height. The exposed top will have Textured or Plain Corian .The top. sides will be made of 19 thick Block Board of approved made confirming to Com grade specification .Side and front will be made by using 12mm thick Com grade ply affixed on top of the board in order to have peculiar shape / size as shown in the drawing. The modesty panel of this unit will have the required drawer and shutters as shown in the drawing/design. The drawers will be required to run on telescopic channel the size of modesty panel will be 18"x 24"x30". All the external exposed area of this unit will be finished by using 1 mm thick approved laminate while the internal area will be required to be finished with 0.8 mm thick Laminate of approved shade/color. Margin, Beading will be finished with PU/Melamine Polish of approved shade/color. All the necessary Hardware's i.e. Telescopic channel, Handles, Locks, and Hinges etc. shall be of approved make in SS finished. Necessary opening to be made to run conduits for electrical data, telephone cable, wire manager etc. The rates includes of works. Providing of Keyboard, C.P.U Trolley, and Footrest are to be done as detail in the drawing/ design. The complete works are to be carried out as per the instructions mentioned in the Tender/ instructions of Architect / Bank.				
	Specialty Feature – The table may have the niche in the Elevation, with an LED Light Provision. The entire commodity is to be made as Per the Instructions and to the satisfaction of the Architect/ Client. The finished commodity will be counted as a Single commodity.				

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	Particulars	Qty	Unit	Unit Rate (In Rs.)	Gross Total Amount
11	<p>DBM TABLE: -5'x2.0'x2'6"</p> <p>Basic Material to be used. This is to be made up of 19 mm thick Block Board of approved make and Confirming to ISO Standard of Com Grade, basic Cost @ 60/Sq.ft, Com Grade 9mm Ply, basic cost @ 40/ Sq.ft., 1 mm thick approved laminate of approved color /shade basic Cost @ 45/Sq.ft. while the internal surfaces will be finished by using 0.8mm thick laminate made, basic cost @ 35/Sq. ft. Plain or Textured Corian, basic cost @478/Sq.ft Wiper Paint, Com grade adhesive, Hardware's of a reputed make of SS Finish. , Wooden Beadings &amp; Moldings of Steam beach. Melamine Polish on the wooden item.</p>	1	No		

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	<b>Particulars</b>	<b>Qty</b>	<b>Unit</b>	<b>Unit Rate (In Rs.)</b>	<b>Gross Total Amount</b>
	Table: - Providing and fixing table of size 5'0"x2.0'x2'6" height. The exposed top will have Textured or Plain Corian .The top. sides will be made of 19 thick Block Board of approved made confirming to Com grade specification .Side and front will be made by using 12mm thick Com grade ply affixed on top of the board in order to have peculiar shape / size as shown in the drawing. The modesty panel of this unit will have the required drawer and shutters as shown in the drawing/design. The drawers will be required to run on telescopic channel the size of modesty panel will be 18"x 24"x30". All the external exposed area of this unit will be finished by using 1 mm thick approved laminate while the internal area will be required to be finished with 0.8 mm thick Laminate of approved shade/color. Margin, Beading will be finished with PU/Melamine Polish of approved shade/color. All the necessary Hardware's i.e. Telescopic channel, Handles, Locks, and Hinges etc. shall be of approved make in SS finished. Necessary opening to be made to run conduits for electrical data, telephone cable, wire manager etc. The rates includes of works. Providing of Keyboard, C.P.U Trolley, and Footrest are to be done as detail in the drawing/ design. The complete works are to be carried out as per the instructions mentioned in the Tender/ instructions of Architect / Bank.				
	<u>Specialty Feature</u> – The etched and beveled Plain Glass top of 10mm thick will be provided. The table may have the niche in the Elevation, with an LED Light Provision. The entire commodity is to be made as Per the Instructions and to the satisfaction of the Architect/ Client. The finished commodity will be counted as a Single commodity.				

**Bill of Quantities for the Refurbishment works to be Done for Khand bazar Branch ,Union Bank of India , Mumbai.**

	Particulars	Qty	Unit	Unit Rate (In Rs.)	Gross Total Amount
12	<p>Table: - 4'0"x2'x2'6"</p> <p>Basic Material to be used. This is to be made up of 19 mm thick Block Board of approved make and Confirming to ISO Standard of Com Grade, basic cost @ 60/ Sq.ft com grade Ply 9 mm Ply, basic Cost @ 40 Sq.ft., 1 mm thick approved laminate of approved color /shade basic Cost @ 45/Sq.ft. while the internal surfaces will be finished by using 0.8mm thick laminate made, basic cost @ 35/Sq. ft. Plain or Textured Corian, basic cost @478/Sq.ft Wiper Paint, Com grade adhesive, Hardware's of a reputed make of SS Finish. Wooden Beadings &amp; Moldings of Steam beach. Melamine Polish on the wooden item.</p>	21	Nos		



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	<b>Particulars</b>	<b>Qty</b>	<b>Unit</b>	<b>Unit Rate (In Rs.)</b>	<b>Gross Total Amount</b>
	Table: - Providing and fixing table for Officers of size 4'0"x2'x2'6" height the top. The exposed top will have Textured or Plain Corian .This will be made of 19 mm thick ply confirming to com. grade specification. The front portion will be made by using 12mm thick Com grade ply affixed on top of the board in order to have peculiar shape / size as shown in the drawing. The modesty panel of this unit will have the required drawer and shutters as shown in the drawing/design. The drawers will be required to run on telescopic channel the size of modesty panel will be 18"x 24"x30". All the external exposed section of this unit will be finished by using 1 mm thick approved laminate while the internal area will be required to be finished with 0.8 mm thick Laminate of approved shade/color. Margin, Beading will be finished with PU/Melamine Polish of approved shade/color. All the necessary Hardware's i.e. Telescopic channel, Handles, Locks, and Hinges etc. shall be of approved make in SS finished. Necessary opening to be made to run conducts for electrical data, telephone cable, wire manager etc. The rates quoted shall be for P/f Keyboard, C.PU Trolley, and Footrest etc., to be done as detailed in the drawing / design. The finished commodity will be counted as a Single commodity. Complete work is to be done as per the instruction of Architect/Bank.				
	Specialty Feature – The exposed top will have Textured or Plain Corian. The entire commodity is to be made as Per the Instructions and to the satisfaction of the Architect/ Client. The finished commodity will be counted as a Single commodity. .				

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	Particulars	Qty	Unit	Unit Rate (In Rs.)	Gross Total Amount
13	<b>Side Table/ Storage:</b> Basic Material to be used. This is to be made up of 19 mm thick Block Board of approved make and Confirming to ISO Standard of Com Grade, basic cost @ 60/ Sq.ft , Com Grade 9mm Ply, basic cost @ 40/ Sq.ft., 1 mm thick approved laminate thick Laminate of approved color /shade basic Cost @ 45/Sq.ft. while the internal surfaces will be finished by using 0.8mm thick laminate made, basic cost @ 35/Sq. ft. Wiper Paint, Com grade adhesive, Hardware's of a reputed make of SS Finish. Wooden Beadings & Moldings of Steam beach. Melamine Polish on the wooden item. 18mm thick Granite with half molding to be laid on the Top of the Unit, basic cost @ 375/ Sq.ft.	25	sqft		
	<b>Side Table/ Storage:</b> Providing and fixing of side Storage as shown in the Drawing/design .This will be made up 19mm block board and 6mm ply confirming to the com. grade specification the height of the table will be 30" from the ground level. The Size of the modesty Panel is 36"x 18"x 30". Modesty panel of the side storage will have Six numbers of drawer running on a telescopic channel. The exposed external surfaces of the storage will be finished with 1mm laminate of approved shades/color. While the internal exposed surfaces will be finished with 0.8mm laminate .All the margin beading molding etc. will be made of 1st class steam beach wood. The margin beading etc. Will have PU/melamine polish of approved shades/color. The rates quoted shall be for P/f Keyboard, C.PU Trolley, and Footrest etc. to be done as detailed in the drawing / design. Complete work is to be done as per the instruction of Architect/Bank. Measurements will be done by computing the surface Area of the Elevation ( Width x Height )				

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	Particulars	Qty	Unit	Unit Rate (In Rs.)	Gross Total Amount
14	Conference Table : ( 19 x 4.5 ft ) The Basic Material to be used. This is to be made up of 19 mm thick Block Board of approved make and Confirming to ISO Standard of Com Grade, basic Cost @ 60/Sq.ft, Com Grade 9mm Ply, basic cost @ 40/ Sq.ft., 1 mm thick approved laminate of approved color /shade basic Cost @ 45/Sq.ft. while the internal surfaces will be finished by using 0.8mm thick laminate made, basic cost @ 35/Sq. ft. Plain or Textured Corian, basic cost @478/Sq.ft Wiper Paint, Com grade adhesive, Hardware's of a reputed make of SS Finish. Molded Glass 10 mm thick/ Transparent Sheet, Wooden Beadings & Moldings of Steam beach. Melamine Polish on the wooden item.	0	Nos		
	The conference table will be made as per the provided drawing and design. The table will be having a sliding system beneath it provided on every seat so a store keep Laptops etc. This beneath drawers will be running on telescopic channels, The entire wiring of the conference table will be done from the integral part in a way that the wires are not visible at first sight. The design of the conference table will be carrying a very good integrated lighting system to make an aura of a meeting place.				

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	Particulars	Qty	Unit	Unit Rate (In Rs.)	Gross Total Amount
15	<b>False Ceiling Work:- • Gypsum Ceiling:</b> - This work shall be done in accordance with the specifications as mentioned in the process of making of Gypsum India Ceiling & its framing, nomenclature of the company. This should also be in relevance to the DSR 2016, 12.45 ( Updated 2021) which mentions - Providing and fixing false ceiling at all height including providing and fixing of frame work made of special sections, power pressed from M.S. sheets and galvanized with zinc coating of 120 gms/sqm (both side inclusive) as per IS : 277 and consisting of angle cleats of size 25 mm wide x 1.6 mm thick with flanges of 27 mm and 37mm, at 1200 mm Centre to Centre, one flange fixed to the ceiling with dash fastener 12.5 mm dia x 40mm long with 6mm dia bolts, other flange of cleat fixed to the angle hangers of 25x10x0.40 mm of required length with nuts & bolts of required size and other end of angle hanger fixed with intermediate G.I. channels 45x15x0.9 mm running at the spacing of 1200 mm Centre to Centre, to which the ceiling section 0.5 mm thick bottom wedge of 80 mm with tapered flanges of 26 mm each having lips of 10.5 mm, at 440 mm Centre to Centre, shall be fixed in a direction perpendicular to G.I. intermediate channel with connecting clips made out of 2.64 mm dia x 230 mm long G.I. wire at every junction, including fixing perimeter channels 0.5 mm	2394	Sqft		

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	Particulars	Qty	Unit	Unit Rate (In Rs.)	Gross Total Amount
	thick 27 mm high having flanges of 20 mm and 30 mm long, the perimeter of ceiling fixed to wall/partition with the help of rawl plugs at 440 mm Centre, with 25mm long drywall screws @ 230 mm interval, including fixing of gypsum board to ceiling section and perimeter channel with the help of drywall screws of size 3.5 x 25 mm at 230 mm c/c, including jointing and finishing to a flush finish of tapered and square edges of the board with recommended jointing compound , jointing tapes , finishing with jointing compound in 3 layers covering up to 140 mm on both sides of joint and two coats of primer suitable for board, all as per manufacturer's specification and also including the cost of making openings for light fittings, grills, diffusers, cutouts made with frame of perimeter channels suitably fixed, all complete as per drawings, specification and direction of\the Engineer in Charge. The roller paint/ wall paper, basic cost @ 30 / Sqmtr. will than be adhered after the approval of the same from the Architec/ consultant Firm. Usage of fire resistant Board as per DSR 2016, 12.45.2 Which reads - 12.5 mm thick tapered edge gypsum fire resistant board conforming to IS: 2095- Part I. The celeing area will be provided with the required 2 no of coat of Primer along with Velvet touch Paint of approved color/Water proof coated Wall paper basic cost @ 25/sqft.				

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	Particulars	Qty	Unit	Unit Rate (In Rs.)	Gross Total Amount
16	<p>Sofa: - The sofas as per the design shown should be made of Hillock wood or of Teak wood frame, having 20"thick cushions of 40 density PU Foam on the seat &amp; back. The springs of sofa should be of good elasticity, while the coir and the jute should form the basis of the cushions. Scotch guard velvet/tapestry (Basic Cost of the tapestry 340 per sq meter) of approved color and shade in a peculiar fashion would form the integral form of the design.12" thick on the back. The set will be comprising of</p> <ul style="list-style-type: none"> <li>- 2 Seater Sofa</li> <li>- 3 Seater Sofa, one each, as per design</li> </ul> <p>The rates include finishing the work as per the design given and to the complete satisfaction of the architect/owner.</p>	2	Set		
17	<p>ENTRANCE DOOR Partly Glazed:- As shown in the relevant drawing/ design the Entrance &amp; Other doors of the cabin made on the Principal of Partly glazed Partition. tHE ITEM CAN BE MADE USING 36MM THICK DOOR SHUTTER , having 6/12/19 mm ply on the deired Area to make panels. The upper Area of the door shutter will be removed and replaced using the Toughened Glass . The Glass will be a Toughened Glass of 8 mm thickness with The Proper etching and the Bank logo are the Part of the work, to be used at the entrance Door and in fixed Sections. The Door should be provided with the fur lining to not leave the air gap when in closed position. A good quality of EPDM rubber is to be used along with the beading in the framing of the front door. Hardware like 18" Long handles, door lock etc. of reputed make such as that of Door set or equivalent are the part of the work. These works are to be done as per the Directions of the Architect/ Consultant/ Client.</p>	100	sqft		

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	Particulars	Qty	Unit	Unit Rate (In Rs.)	Gross Total Amount
	As shown in the relevant Drawings and based on the DSR 2016, 21.1.2.3 Providing and fixing Polyester Powder Coated aluminum Section/works for doors, windows, ventilators and partitions with extruded built up standard tubular sections/appropriate Z sections and other sections of approved make conforming to IS: 733 and IS: 1285, fixing with dash fasteners of required dia and size, including necessary filling up the gaps adjunctions, i.e. at top, bottom and sides with required EPDM rubber/ Neoprene gasket etc. Aluminum sections shall be smooth, rust free, straight, mired and jointed mechanically wherever required including cleat angle, Aluminum snap beading for glazing / paneling, C.P. brass / stainless steel screws, all complete as per architectural drawings and the directions of Architect/ Engineer-in-charge.				
18	<b>Paneling</b> :Paneling In Banking Area: - It is done by using 25 x 25 mm thick Aluminum Section, webbed horizontally & vertically in a manner to have 600 mm C/C, along the said sections. A 9mm ply will then be affixed on it & then 1mm laminate to cover the ply along the said pattern. The margins, moldings, beadings etc. will have to be of 1st quality made out of steam Beachwood. Melamine polish shall be provided on the margins, moldings, beadings etc. The rates include finishing the work as per the design given and to the complete satisfaction of the architect/Consultant. The assistance given in trespassing of electrical conduits, etc. Is included in the scope of works.	200	sqft		

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	Particulars	Qty	Unit	Unit Rate (In Rs.)	Gross Total Amount
19	<b>Panelling in ATM</b> -The walls in the ATM are to be covered by Paneling. This Paneling will be carried out by using 25x 25 mm Tubular sections made up of heavy duty Aluminum having required thickness. These are webbed as per the design given having 300 mm c/c or as required by the Architect. The Compressed Flat extruded Aluminum strip in the name of Aluminum Composite Panel or ACP is than pressed on these sections with the help of Cleats, screws etc. The bins and the Cheque tables are designed out of these ACP, Panels. The patterns of the design are to be followed as per the direction of the engineer Incharge of the owner or the Architect. The gaps between the joints are filled with the Silicon Transparent or colored sealer. This entire work is to be carried out as per the specification, as mentioned in the respective manuals of the reputed makes and to the entire satisfaction of the Architect/ Consultant/ Client. The provision of laying electrical wiring is the Part of the works.	275	Sqft		
20	<b>Wooden structuring of Pillars :</b> Basic Material to be used. This is to be made up of Aluminum Section 40 X 40 mm, 19 mm thick Block Board of approved make and Confirming to ISO Standard of Com Grade, basic cost @ 60/ Sq.ft , Com Grade 9mm Ply, basic cost @ 40/ Sq.ft., 1 mm thick approved laminate of approved color /shade basic Cost @ 45/Sq.ft. Plain or Textured Corian, basic cost @478/Sq.ft, Wiper Paint, Com grade adhesive, Hardware's of a reputed make of SS Finish. Molded Glass 10 mm thick/ Transparent Sheet, Wooden Beadings & Moldings of Steam beach. Melamine Polish on the wooden item.	450	sqft		



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	Particulars	Qty	Unit	Unit Rate (In Rs.)	Gross Total Amount
	<b>Wooden structuring of Pillars:</b> The basic ingredients of this commodity are 40 x 40mm Wooden Section. The horizontal and vertical weaving of the section is to be done in a desired Pattern to have 300mm gap from Centre to Centre. The wooden sections than to be fixed using 9mm Ply on it. The Ply than to covered By using Plain or Textured Corian with the help of steel spacers to have a gap of at least 25 mm from the wooden section. t The Led strip Light is than fitted in the interior Part, along the size of wooden battens. The lower and the Upper Part of the Pillars, to the approx. vertical height of 600mm, will be covered by using Textured Rough Stone Laminate, directly adhered on 9mm Com Grade Ply.. The LED strip light of Variant color Grade is to be used in this Process. The complete works are to be done as per the Instructions given by the Architect/consultant. The carpentry assistance for providing the electrical conduit, encasing of light fittings etc. are the part and parcel of the job. The complete works are to be carried out to the satisfaction of the Architect/owner. Artifical Planters or Creepers @ 340/piece will be used along the Line as per the instructions of the Architect/consultant.				
	<b>Specialty Feature</b> -The difference in the level and the emergence of the Indirect light of various colors on the textured rough stone or its laminate will provide coolness to the aesthetic look in the interior. The entire Branch Aura can be regulated in multi dimension concept. The Surface of the works will be measured for the concluded works. ( Height x Peripheral Length of the column )				
	<b>Other Miscellaneous Items -</b>				

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	Particulars	Qty	Unit	Unit Rate (In Rs.)	Gross Total Amount
21	<b>MIRRORS IN TOILETS :-</b> Providing and fixing 6mm thick clear mirror (First Quality), size 1' 6" x 3' 0" of Approved make, adhered on frame of 9 mm thick. Com. ply. Mirror shall have a frame of 25mm x 25mm steam beach wooden molding finished in melamine/ SS Beading or embedded in Granite Frame. The rate shall be inclusive all necessary fixtures & fittings.	4	Nos		
22	<b>VERTICAL BLINDS WITH SCOTCH GUARD :</b> Providing & fixing in place 100 mm. Vertical blinds of approved make, quality and color shade & pattern. Rate shall include necessary scotch guard treatment on both sides. The overlaps should be uniform & adequate. Basic Price (@60/Sq.ft)	35	Sqft		
23	P/f of PVC Doors in the provided door frames in the Toilet Area ;;30 mm thick Glass Fiber Reinforced Plastic (FRP) paneled door shutter of required color and approved brand and manufacture, made with fire - retardant grade unsaturated polyester resin, molded to 3 mm thick FRP laminate for Forming hollow rails and styles, with wooden frame and suitable blocks of seasoned wood inside at required places for fixing of fittings, cast monolithically with 5 mm thick FRP laminate for panels conforming to IS: 14856, including fixing to frames. Hardware's provided should be of approved make as mentioned in the Tender. The complete works are to be carried out as per the instructions of the Consultant /Bank.	85	Sqft		

**Bill of Quantities for the Refurbishment works to be Done for Khand bazar Branch ,Union Bank of India , Mumbai.**

	Particulars	Qty	Unit	Unit Rate (In Rs.)	Gross Total Amount
24	P/f of PVC Doors Frames in the provided door frames in the Toilet Area- Providing and fixing Fiber Glass Reinforced plastic (FRP) Door Frames of cross-section 90 mm x 45 mm having single rebate of 32 mm x15 mm to receive shutter of 30 mm thickness .The laminate shall be molded with fire resistant grade unsaturated polyester resin and chopped mat. Door frame laminate shall be 2 mm thick and shall be filled with suitable wooden block in all the three legs. The frame shall be covered with fiber glass from all sides. M.S. stay shall be provided at the bottom to steady the frame. The complete works are to be carried out as per the instructions of the Consultant /Bank.	90	Rft		
25	<b>KEY BOX :</b> Providing and fixing key box of size 1' 6"x1' 6"x 6" with all sides and back with 18mm thick comm. Ply wood and lockable glass shutters in 18mm ply , with 5 mm glass. Necessary hooks to be provided inside the box. All exposed areas and inside to be finished with 1 mm thick laminate of approved shade. The edges of shutter and box to be lipped with steam beach beading polished with melamine. Rate shall be inclusive of all necessary approved fittings like hinges, locks, hooks etc. and any necessary hardware items.	1	Nos		

**Bill of Quantities for the Refurbishment works to be Done for Khand bazar Branch ,Union Bank of India , Mumbai.**

	Particulars	Qty	Unit	Unit Rate (In Rs.)	Gross Total Amount
26	<p>Providing of Fancy Arch works in Partitions, walls, Pillars. - These works will be done in order to create a speciality feature in the Bank walls, Partitions etc.</p> <p>This is to be made up of 19 mm thick Block Board of approved make and Confirming to ISO STANDARD 303 FOR BLOCK BOARD &amp; 9MM Ply. of Com Grade, basic cost @ 60/ Sq.ft Com Grade 9mm Ply, basic cost @ 40/ Sq.ft., 1 mm thick approved laminate of approved color /shade basic cost @ 55/Sq.ft. while the internal surfaces will be finished by using 0.8mm thick laminate made, basic cost @ 35/Sq. ft. Wiper Paint, Com grade adhesive, 18mm thick, 5" wide molded Granite frames, basic cost @ 375 Sq.ft, Hardware's of a reputed make of SS Finish. Plain Glass 10 mm/ Transparent Sheet, Wooden Beadings &amp; Moldings of Steam beach. Melamine Polish on the wooden item. The works include making projections in the Partitions near the cash cabin, facing to wards the entry door. Entire partition will receive this speciality treatment of making Arches on the 9ft level by using block board. The vertical parts will be projeted by making 4 pillars of 9" each while the usage of toughened glass &amp; the Bends will be made with alight effect on it. Granite and mica will be used in the combination along with the use of Corian. The edge of the corian will be ben ded by using edge bending tape. The entire works is to be carried out to show the glimpses of the indian Architecture .</p> <p>Creating 5 No of Photo frames by using 9mm Ply, Block Board &amp; Corian. This will also have seneries or recomm. The frame size will be of ended Artistic works encased in the frame. The basic cost of sceneries 6000/unit. The frame size will be 24 sqft.</p>	0	lumpsum		
27	<b>3M SYNTHETIC DOOR MATS (4'-0" x 2'-0"):</b> Providing and Fixing the 3 M Synthetic Door Matt of approved Shade and Pattern. Basic Cost of the Door Matt @ 2200.00	2	Nos		
29	<b>Chairs:-</b>				

**Bill of Quantities for the Refurbishment works to be Done for Khand bazar Branch ,Union Bank of India , Mumbai.**

	Particulars	Qty	Unit	Unit Rate (In Rs.)	Gross Total Amount
A	Visitors chair as per approved design of Consultant	0	nos		
B	OFFICER'S chair as per approved design of Consultant	0	nos		
C	RH Chair of approved Make.	0	nos		
D	Assistant officer Chairs of approved Make	0	nos		
E	Visitor Room Stool Chairs of approved Make		nos		
F	Conference Room Chairs of approved Make	0	nos		
	The rates include finishing the work as per the design given and to the Complete satisfaction of the architect/owner.				
28	<b>GLASS CENTER TABLE:-</b> Providing and fixing Center table of Size 3'x2.5' made up of solid Teakwood having Approved shade of Melamine Polish on it . The Top Surface of this table will be Covered by Glass Laid on Steel Spacers . The webbled Glass with the Pencil edged Corners will only be used for laying on the table. The Thickness of Toughened Glass used will be 12 mm.	2	nos		
	<b>Buy Back Charges to be deducted from the Bill for Purchasing of the furnishings items in the Branch/ Premises. ( In Rs )</b>	1	nos		
	<b>Total for Furnishing works (In Rs)</b>				

**Bill of Quantities for the Civil works to be Done for Khand bazar Branch ,Union Bank of India , Mumbai.**

S.N	Particulas	Qty	Unit	Rate per	Total Amount
				Unit	{In Rs}
	<b>Civil, Paint &amp; Polishing work:</b>				
	<b>Instructions</b> - The Participating vendors are requested for filling authentic rates. If the Bank/ Architect/Consultant finds the rates to be not workable than the costing analysis will be asked by the Vendor. The cost analysis submitted by the Vendor will be analysed by the Consultant/ Architect and than only the Vendor will be authenticated the works. If the quoted rates are summarily below the rates and not as Per CVC Guidelines than the Tender may be summarily rejected. And the Bank may on its discretion provide the works to other justified vendor along with the consent of the Architect/Consultant Firm/company.				
	<b>Material</b> - The usage of the specified material will only be permitted. The Vendor will have to write a letter and submit the material samples, which will be used at site. The vendor will be required to prepare a mock up and get it approved by the Architect/Consultant. The material used without prior approval of the Architect/ Consultant will have to be replaced while the vendor the Amount of the vendors Bill will also be deducted in lieu of not following the Tender guidelines.				

**Bill of Quantities for the Civil works to be Done for Khand bazar Branch ,Union Bank of India , Mumbai.**

S.N	Particulas	Qty	Unit	Rate per	Total Amount
				Unit	{In Rs}
1	<b>Calcium silicate Board :-</b> Providing and fixing partition upto ceiling height consisting of G.I. frame and required board, including providing and fixing of frame work made of special section power pressed/ roll form G.I. sheet with zinc coating of 120 gms/sqm(both side inclusive), consisting of floor and ceiling channel 50mm wide having equal flanges of 32 mm and 0.50 mm thick, fixed to the floor and ceiling at the spacing of 610 mm centre to centre with dash fastener of 12.5 mm dia meter 50 mm length or suitable anchor fastener or metal screws with nylon plugs and the studs 48 mm wide having one flange of 34 mm and other flange 36 mm and 0.50 mm thick fixed vertically within flanges of floor and ceiling channel and placed at a spacing of 610 mm centre to centre by 6 mm dia bolts and nuts, including fixing of studs along both ends of partition fixed flush to wall with suitable anchor fastener or metal screws with nylon plugs at spacing of 450 mm centre to centre, and fixing of boards to both side of frame work by 25 mm long dry wall screws on studs, floor and ceiling channels at the spacing of 300 mm centre to centre.	495	sqft.		

**Bill of Quantities for the Civil works to be Done for Khand bazar Branch ,Union Bank of India , Mumbai.**

S.N	Particulas	Qty	Unit	Rate per	Total Amount
				Unit	{In Rs}
	The boards are to be fixed to the frame work with joints staggered to avoid through cracks, M.S. fixing channel of 99 mm width (0.9 mm thick having two flanges of 9.5 mm each) to be provided at the horizontal joints of two boards, fixed to the studs using metal to metal flat head screws, including jointing and finishing to a flush finish with recommended jointing compound, jointing tape, angle beads at corners (25 mm x 25 mm x 0.5 mm), joint finisher and two coats of primer suitable for board as per manufacture's specification and than using the approved color code as per the direction of the Consultant/ engineer in charge . Basic cost of Paint 20/Sqft. The works to be completed in all respects. .				
	66mm overall thickness Partition with 8mm thick double skin Calcium Silicate Board made with Calcareous & Siliceous materials reinforced with cellulose fiber manufactured through autoclaving process with Compressive Strength 225 kg/sq.cm, Bending Strength 100 kg./ sq.cm				



**Bill of Quantities for the Civil works to be Done for Khand bazar Branch ,Union Bank of India , Mumbai.**

S.N	Particulas	Qty	Unit	Rate per	Total Amount
				Unit	{In Rs}
2	<b>Dado Tiles</b> - The Tiles are to be adhered on the Pillars/ Colomn in the Premises/ & the walls. The basic cost of the Tiles @ 65/Sq.ft. The works are to ber done as per the standard Practisce/ mentioned as per the usage of the Brand. The grouting/ attaining a perfect plumb line etc. are the essentials of the works. The design/color/ Pattern to be provided as per the Instructions of the Architect/ Consultant Firm.	518	sqft.		
3	<b>Fixing of Anti skid Tiles on Floor of washrooms</b> :Providing and laying Vitrified tiles in different sizes (thickness to be specified by manufacturer), with water absorption less than 0.08 % and conforming to I.S. 15622, of approved make, in all colours & shade, on Floor, in skirting, riser of steps, over 12 mm thick bed of cement mortar 1:3 (1 cement: 3 coarse sand), jointing with grey cement slurry @ 3.3 kg/ sqm including grouting the joint with white cement & matching pigments etc. complete. Basic cost of 12" x 12" Tile @ 45/ Sqft. The water proofing works to be complied by the vendor in this works, nothing extra will be paid for the same.	95	Sq.ft		

**Bill of Quantities for the Civil works to be Done for Khand bazar Branch ,Union Bank of India , Mumbai.**

S.N	Particulas	Qty	Unit	Rate per	Total Amount
				Unit	{In Rs}
4	<b>Branch Flooring: Fixing of Approved Shade and Pattern of Vitrified Tile</b> : At first the exisitng tiles will be removed and dsipatched as per the Norms of the BMC. Than the process of Providing and laying Vitrified tiles (thickness to be specified by manufacturer), with water absorption less than 0.08 % and conforming to I.S. 15622, of approved make, in all colours & shade, on Floor, in skirting, riser of steps, over 12 mm thick bed of cement mortar 1:3 (1 cement: 3 coarse sand), jointing with grey cement slurry @ 3.3 kg/ sqm including grouting the joint with white cement & matching pigments etc. complete. Basic cost of 600mm x 600 mm Tile @ 65/ Sqft.	2765	Sq.ft		

**Bill of Quantities for the Civil works to be Done for Khand bazar Branch ,Union Bank of India , Mumbai.**

S.N	Particulas	Qty	Unit	Rate per	Total Amount
				Unit	{In Rs}
5	<p><b><u>PANTRY PLATFORM IN JET BLACK (WITH SINK &amp; COCK) :-</u></b>  Providing and laying platform of 2'-0" width (clear) and at 2'-8" height (top) above FFL of approved 20 mm thick granite with bull nosed edges. It shall be supported on RCC slab with vertical brick wall supports. A 2" granite facia should be provided below the bull nosed edge of granite platform. Rate shall be inclusive of making cutouts and polishing the edges for 18 " x 18 " S. S. Nirali sink without drain board (medium) or equivalent make). A flexible pipe from sink to the nahn trap shall be provided. Rate shall also include one jaguar continental C P SWAN NECK TAP with swinging casted spout (no. 347). The base modular kitchen will be provided as per the Modular standard of Kitchen.The utensil stand will be provided above the sink.  The lunch Platform hanged on the 19 mm thick Board , with a Clear width of 18 inch, having bullnosed edges at the ends for a Legth of 9 Rft is to be provided in the Kitchen. Dado Tiles to a height of 18 iches from the Platform( lunch Platform and Kitchen Platform ) is also a Part of the Job.</p>	0	Rft.		

**Bill of Quantities for the Civil works to be Done for Khand bazar Branch ,Union Bank of India , Mumbai.**

S.N	Particulas	Qty	Unit	Rate per	Total Amount
				Unit	{In Rs}
6	<b>Making of complete Bathroom in ready to use condition including Supply and Installation of WallHung EWC in HE &amp; SHE .</b> The EWC wallhung type ( basic cost @ 6500.00 ) along with the half turn system in the wall, 1 No corner wash basin @ 1200. Drain system having perfect slopes, using appropriate CPVC Pipe. Tees & Joint couplers etc. These are to be is to be fixed as Per the standard Norms, FOR Flushing System . 2 No of Urinal with Angle cock and y terminal spreaders is to be provided within Granite Compartments, as Shown in the Design & Drawing. Basic Cost of Urinal @ 2500/-				

**Bill of Quantities for the Civil works to be Done for Khand bazar Branch ,Union Bank of India , Mumbai.**

S.N	Particulas	Qty	Unit	Rate per	Total Amount
				Unit	{In Rs}
	In case of SHE Toilet Squatting Pan, basic rate @ 2000 will be used. All the Tess, Joints, etc. are to be provided of CPVC Fittings, as approved by the Architect/ Consultant. The works include joining the drain Pipes to the drainage System, All the works required to be done to achieve the Working Condition of the EWC, in all the aspects. 4" Drain Pipes to be used for the disposal of the wastes.The water proofing and the Base preparation for providing Tiles in line & level with a perfect slope to wards Nanhai Trap are the other works to be done under this Job. Wash basin @ 750 having SS Tap @ 190 to be provided in perfect condition in every bathroom. Provision of Robe hokes, on the doors, Soap dispenser, Toilet Papers etc. are mandatory to b e provided . These are to be SS-304 Grade.				
A	Making HE Toilet complete in all respects following the above mentioned materials/Data.	1	Nos		
B	Making SHE Toilet complete in all respects following the above mentioned materials/Data.	1	Nos		

**Bill of Quantities for the Civil works to be Done for Khand bazar Branch ,Union Bank of India , Mumbai.**

S.N	Particulas	Qty	Unit	Rate per	Total Amount
				Unit	{In Rs}
7	<b>Making of complete Urinals in ready to use condition including Supply and Installation of theirs for HE Toilets-</b> Supplying and installing 1 Urinal, SEPRATED By 18MM Granite enclosure of standard size. Each enclosure with Angle cock and y terminal spreaders along with the standard Granite (Basic Cost of granite 320/ Sqft.) Compartments, as Shown in the Design & Drawing. Basic Cost of Urinal @ 6500/ All the Tess, Joints, etc. are to be provided of CPVC Fittings, as approved by the Architect/ Consultant. The works include joining the drain Pipes to the drainage System, All the works required to be done to achieve the Working Condition of the EWC, in all the aspects. 3" Drain Pipes to be used for the disposal of the wastes. The water proofing and the Base preparation for providing Tiles in line & level with a perfect slope to wards Nanhai Trap are the other works to be done under this Job.	0	Nos		

**Bill of Quantities for the Civil works to be Done for Khand bazar Branch ,Union Bank of India , Mumbai.**





S.N	Particulas	Qty	Unit	Rate per	Total Amount
				Unit	{In Rs}
8	<b>Supply and Installation of Washbasin ( Embeeded in 18 mm thick Granite Counter.</b> The Counter Size to be of 84"x 28"(approx). HE & SHE HAVING 1 NOS OF WASHBASINS ( basic cost @ 2500.00 ) along with the Swan neck bib Cock of SS ,with all the fittings, i.e waste pipe, nhani trap etc. of Standard approved make are to be fixed and completed in working condition. All the internal Pipelines and the waste line to be of 2 " CPVC Pipe, to be fixed as Per the standard Norms . All the Tess, Joints, etc. are to be provided of CPVC Fittings. Granite used having basic rate of 320/ Sq.ft.This granite counter will be placed on the support of the horizontally laid kadappa stone. The granite will be having half moulding with a very fine polish on it.	2	Nos		
9	<b>Breaking Works of the Existing Partition walls, Floor Tiles, Dado Tiles, Partitions etc. :</b> The breaking of the walls, Tiles etc is to be done by using more of the advanced macinery to create less noise polution and more of the effextive working. The malba is to be disposed as pern the Local Byelaws. After breaking the materials are to disposed as per the BMC Guidelines.	1	Nos		

**Bill of Quantities for the Civil works to be Done for Khand bazar Branch ,Union Bank of India , Mumbai.**

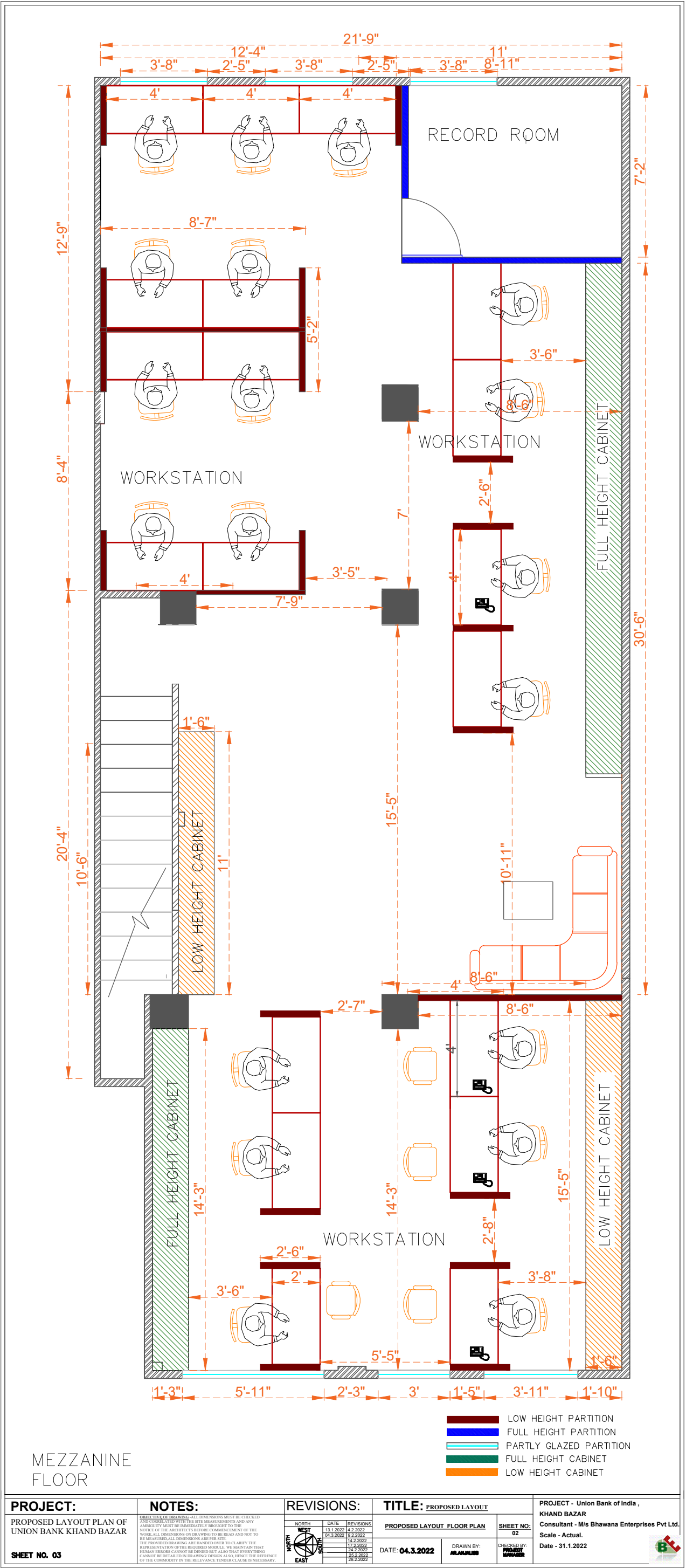
S.N	Particulas	Qty	Unit	Rate per	Total Amount
				Unit	{In Rs}
10	<b>Painting the walls using Plastic Roller Paint</b> - The Painting works are to be carried as per the described procedures of the approved Paint by the Architect/ Consultant. The Job included the Scrapping of the Old works, Crack filling, Applying the Putty on the walls to make the wall in Pumb. Than applying the Paint as per the approved shade and Pattern. The vendor to make the sample of the Paint and get it approved by the Architect/Consultant in writing.	4200	sqft.		
11	<b>Replacing the existing Stairs</b> - The WORKS INCLUDE THE replacement of the exisitng stairs by providing the New stairs. The new stairs to be made of MS With SS Railing. The SS Railing to be Made by using SS =303 Grade. The Stairs to have 6" riser and 12" Tread. . The provided steps to be covered by using Anti Skid wooden finished blocks. The vendor in this works will have to remove/dismantle the existing stairs and the entire Exisitng Stairs will be his, while in turn he will have to provide the new stair as per the drawn specifications. The works also include the interiors to be done beneath the Stairs @ 10000.00 .The Interior works of peculiar paneeling with Framed phtos and light dispersion along the stairs @ 25000.00 Hence the vendor to quote for new stairs adjusting the buyback Amount, of the old stairs which will be entirely his property against the quoted amount.	1	Lumpsum		
	<b>TOTAL COST OF CIVIL WORK</b>				
	<b>Rs</b>				

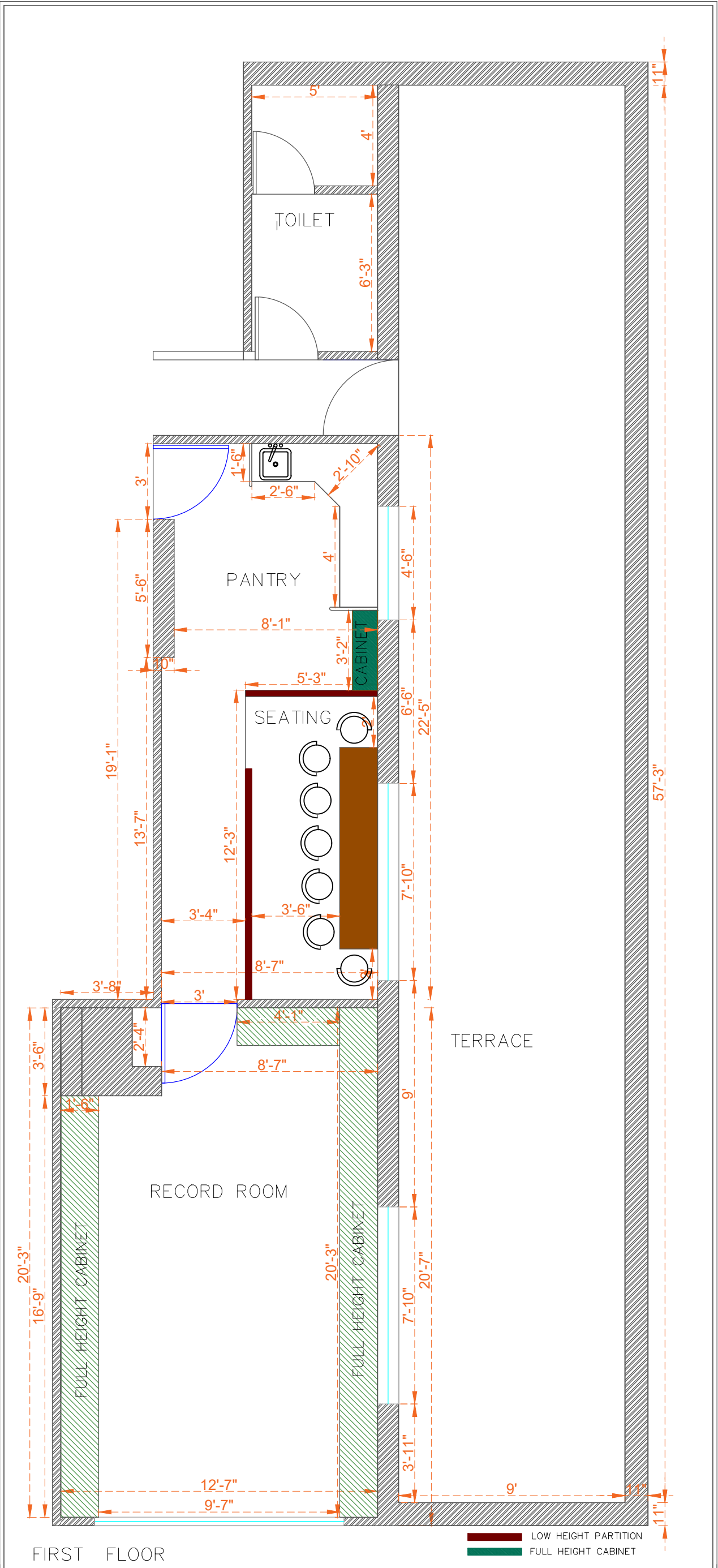




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|---|-------------------------|
|  | LOW HEIGHT PARTITION    |
|  | FULL HEIGHT PARTITION   |
|  | PARTLY GLAZED PARTITION |
|  | LOW HT GLAZED PARTITION |
|  | FULL HEIGHT CABINET     |
|  | LOW HEIGHT CABINET      |

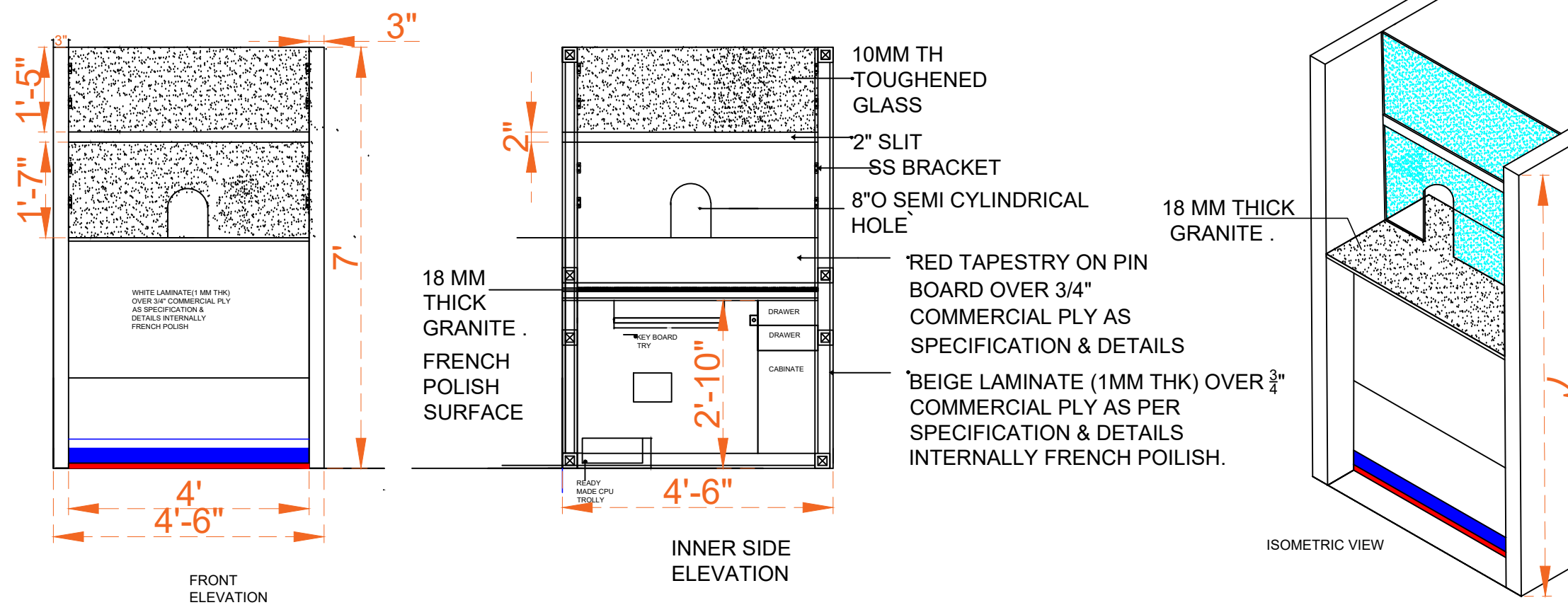
<b>PROJECT:</b>	<b>NOTES:</b>	<b>REVISIONS:</b>	<b>TITLE: PROPOSED LAYOUT</b>	<b>PROJECT - Union Bank of India , KHAND BAZAR</b>														
PROPOSED LAYOUT PLAN OF UNION BANK KHAND BAZAR	<p><b>GENERAL NOTE:</b> ALL DIMENSIONS MUST BE CHECKED AGAINST THE SITE NEIGHBORHOOD AND ANY AMBIGUITY MUST BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE COMMENCEMENT OF THE WORK. ALL DIMENSIONS ON DRAWING TO BE READ AND NOT TO BE ASSUMED. ALL DIMENSIONS ARE PER METRE.</p> <p>THE PROVIDED DRAWING ARE HAND-DRAWN FOR THE REPRESENTATION OF THE REQUIRED MATERIAL. WE WANT TO SAY THAT HUMAN DIMENSIONS CANNOT BE JUDGED BUT ALSO THAT EVERYTHING CANNOT BE DETAIL IN DRAWING. DESIGN ALSO, BEING THE REFERENCE OF THE COMFORT IN THE RELATANCE THERMAL CLIMATE IS NECESSARY.</p>	<table><tr><th>NORTH</th><th>DATE</th><th>REVISIONS</th></tr><tr><td rowspan="5"></td><td>13.12.2022</td><td>1</td></tr><tr><td>14.12.2022</td><td>2</td></tr><tr><td>14.12.2022</td><td>3</td></tr><tr><td>14.12.2022</td><td>4</td></tr><tr><td>14.12.2022</td><td>5</td></tr></table>	NORTH	DATE	REVISIONS		13.12.2022	1	14.12.2022	2	14.12.2022	3	14.12.2022	4	14.12.2022	5	<b>PROPOSED LAYOUT FLOOR PLAN</b>  DATE: <b>28.2.2022</b>  DRAWN BY: <b>ANILKUMAR</b>	<b>SHEET NO: 01</b>  CHECKED BY: <b>PROF. PRADEEP KUMAR</b>  Scale - Actual. Date - 28.2.2022
NORTH	DATE	REVISIONS																
	13.12.2022	1																
	14.12.2022	2																
	14.12.2022	3																
	14.12.2022	4																
	14.12.2022	5																
SHEET NO : 01																		






PROJECT:		NOTES:		REVISIONS:		TITLE: <u>PROPOSED LAYOUT</u>		PROJECT - Union Bank of India , KHAND BAZAR			
PROPOSED LAYOUT PLAN OF UNION BANK KHAND BAZAR		<div>OBJECTIVE OF DRAWING: ALL DIMENSIONS MUST BE CHECKED AND CORRELATED WITH THE SITE MEASUREMENTS AND ANY AMBIGUITY MUST BE IMMEDIATELY BROUGHT TO THE NOTICE OF THE ARCHITECT BEFORE COMMENCEMENT OF THE WORK. ALL DIMENSIONS ON DRAWING TO BE READ AND NOT TO BE MEASURED. ALL DIMENSIONS ARE FOR SITE. THE PROVIDED DRAWING ARE HANDLED OVER TO CLARIFY THE REPRESENTATION OF THE REQUIRED MODEL. WE MAINTAIN THAT HUMAN ERRORS CANNOT BE DENIED BUT ALSO THAT EVERYTHING CANNOT BE DETAIL IN DRAWING DESIGN ALSO. HENCE THE REFERENCE OF THE COMMODITY IN THE RELEVANCE TENDER CLAUSE IS NECESSARY.</div>		NORTH 13.12.2022		REVISIONS 12.2022		PROPOSED LAYOUT FLOOR PLAN		SHEET NO: 03	
				18.2.2022		21.2.2022		DATE: 21.2.2022		DRAWN BY: ALANALUS	
SHEET NO. 03										CHECKED BY: PROJECT MANAGER	

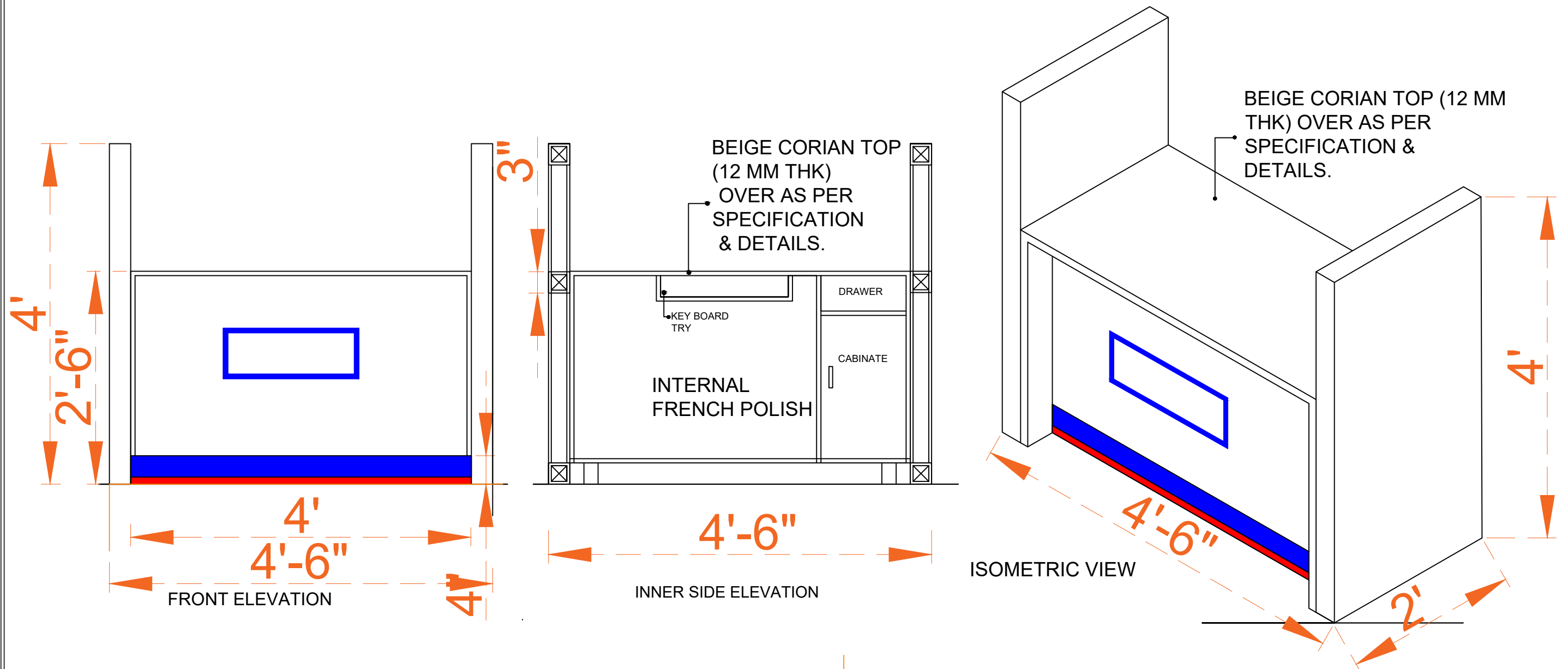
## CASH COUNTER DETAILS



## CASH COUNTER DETAILS

<b>PROJECT:</b>	<b>NOTES:</b>	<b>REVISIONS:</b>			<b>TITLE:</b> <u>FURNITURE</u>		PROJECT - Union Bank of India , KHAND BAZAR			
PROPOSED LAYOUT PLAN OF UNION BANK KHAND BAZAR	OBJECTIVE OF DRAWING -ALL DIMENSIONS MUST BE CHECKED AND CORRELATED WITH THE SITE MEASUREMENTS AND ANY AMBIGUITY MUST BE IMMEDIATELY BROUGHT TO THE NOTICE OF THE ARCHITECTS BEFORE COMMENCEMENT OF THE WORK.ALL DIMENSIONS ON DRAWING TO BE READ AND NOT TO BE MEASURED,ALL DIMENSIONS ARE PER SITE. THE PROVIDED DRAWING ARE HANDED OVER TO CLARIFY THE REPRESENTATION OF THE REQUIRED MODULE. WE MAINTAIN THAT HUMAN ERRORS CANNOT BE DENIED BUT ALSO THAT EVERYTHING CANNOT BE DETAILED IN DRAWING/ DESIGN ALSO, HENCE THE REFERENCE OF THE COMMODITY IN THE RELEVANCE TENDER CLAUSE IS NECESSARY.				CASH COUNTER DETAILS		SHEET NO: 04			
					DATE: 8.3.2022		DRAWN BY: AR.ANJALISB		CHECKED BY: PROJECT MANAGER	
SHEET NO : 04		<div><div><div>NORTH</div><div>WEST</div><div>SOUTH</div><div>EAST</div></div><div></div></div>								

## COUNTER DETAIL



### PROJECT:

PROPOSED LAYOUT PLAN OF  
UNION BANK KHAND BAZAR

SHEET NO : 08

### NOTES:

OBJECTIVE OF DRAWING - ALL DIMENSIONS MUST BE CHECKED AND CORRELATED WITH THE SITE MEASUREMENTS AND ANY AMBIGUITY MUST BE IMMEDIATELY BROUGHT TO THE NOTICE OF THE ARCHITECTS BEFORE COMMENCEMENT OF THE WORK. ALL DIMENSIONS ON DRAWING TO BE READ AND NOT TO BE MEASURED. ALL DIMENSIONS ARE PER SITE. THE PROVIDED DRAWING ARE HANDED OVER TO CLARIFY THE REPRESENTATION OF THE REQUIRED MODULE. WE MAINTAIN THAT HUMAN ERRORS CANNOT BE DENIED BUT ALSO THAT EVERYTHING CANNOT BE DETAILED IN DRAWING/ DESIGN ALSO, HENCE THE REFERENCE OF THE COMMODITY IN THE RELEVANCE TENDER CLAUSE IS NECESSARY.

### REVISIONS:

	DATE	REVISIONS
NORTH	13.1.2022	28.2.2022
WEST		8.3.2022
EAST		
SOUTH		

### TITLE: FURNITURE

COUNTER DETAILS

DATE: 8.3.2022

DRAWN BY:  
AR.ANJALISB

SHEET NO:  
08

CHECKED BY:  
PROJECT  
MANAGER

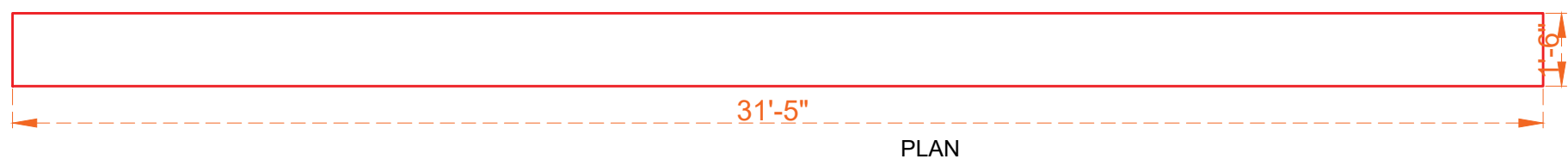
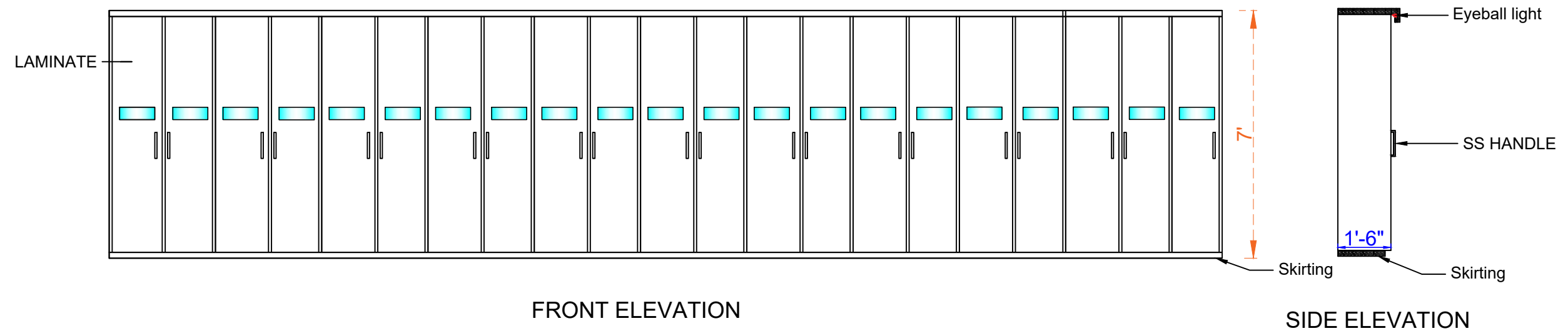
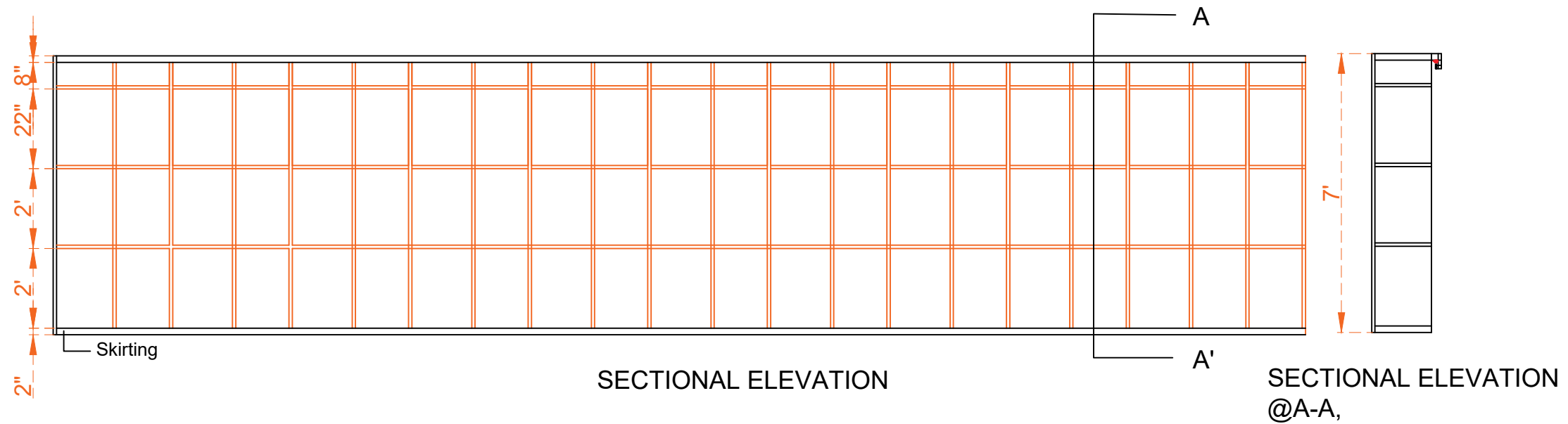
PROJECT - Union Bank of India ,  
KHAND BAZAR

Consultant - M/s Bhawana Enterprises Pvt Ltd.

Scale - Actual.

Date - 8.3.2022





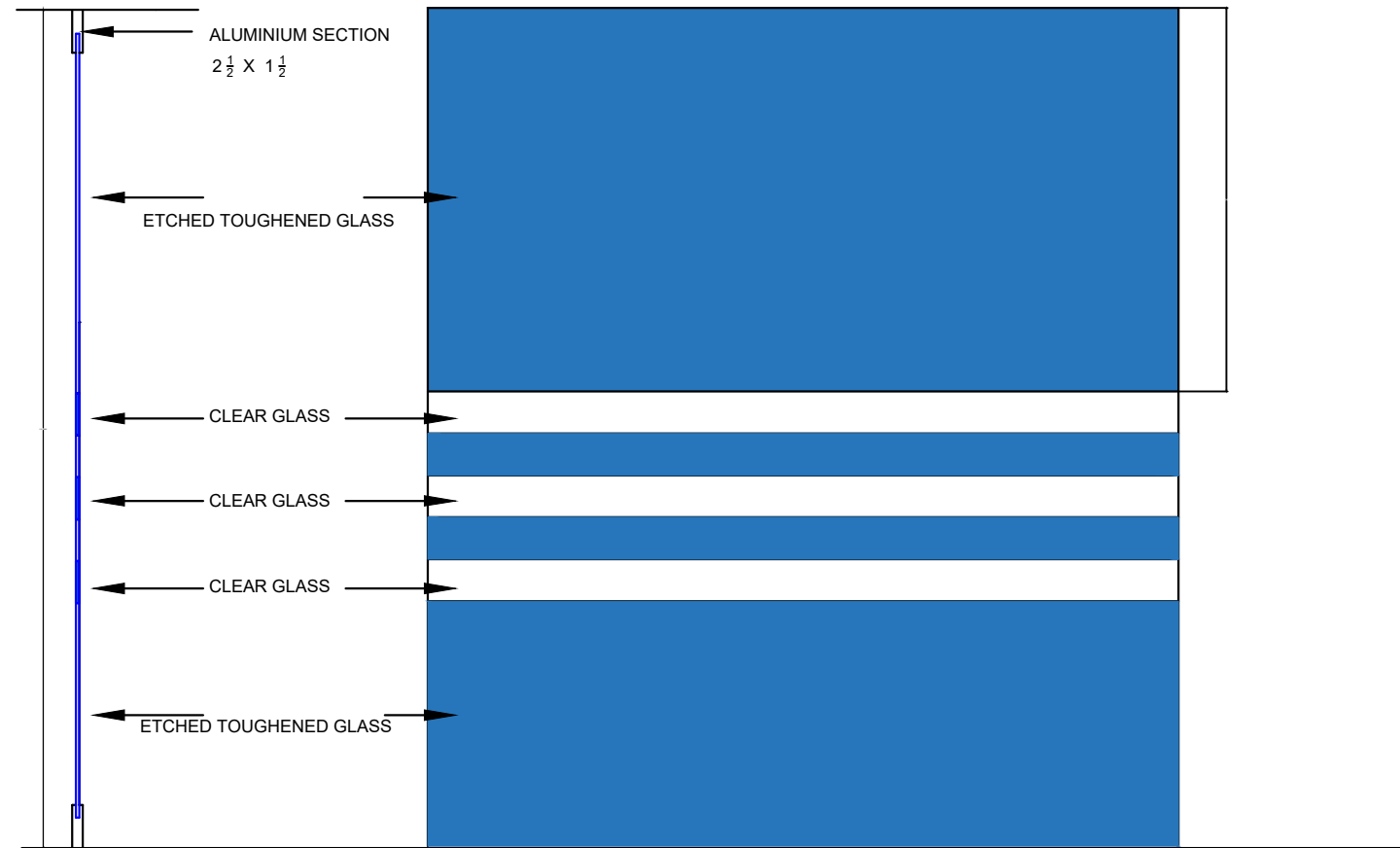
## CABINET DETAILING

### CABINET DETAILING

PROJECT:	NOTES:	REVISIONS:	TITLE: <u>FURNITURE</u>		PROJECT - Union Bank of India , KHAND BAZAR  Consultant - M/s Bhawana Enterprises Pvt Ltd.  Scale - Actual.  Date - 8.3.2022		
PROPOSED LAYOUT PLAN OF UNION BANK KHAND BAZAR   SHEET NO : 05	OBJECTIVE OF DRAWING -ALL DIMENSIONS MUST BE CHECKED AND CORRELATED WITH THE SITE MEASUREMENTS AND ANY AMBIGUITY MUST BE IMMEDIATELY BROUGHT TO THE NOTICE OF THE ARCHITECTS BEFORE COMMENCEMENT OF THE WORK.ALL DIMENSIONS ON DRAWING TO BE READ AND NOT TO BE MEASURED.ALL DIMENSIONS ARE PER SITE. THE PROVIDED DRAWING ARE HANDED OVER TO CLARIFY THE REPRESENTATION OFTHE REQUIRED MODULE. WE MAINTAIN THAT HUMAN ERRORS CANNOT BE DENIED BUT ALSO THAT EVERYTHING CANNOT BE DETAILED IN DRAWING/ DESIGN ALSO, HENCE THE REFERENCE OF THE COMMODITY IN THE RELEVANCE TENDER CLAUSE IS NECESSARY.						
		NORTH	DATE	REVISIONS		TYPICAL FULL HT CABINET	SHEET NO: 05
		WEST	13.1.2022	28.2.2022			
		SOUTH		8.3.2022			

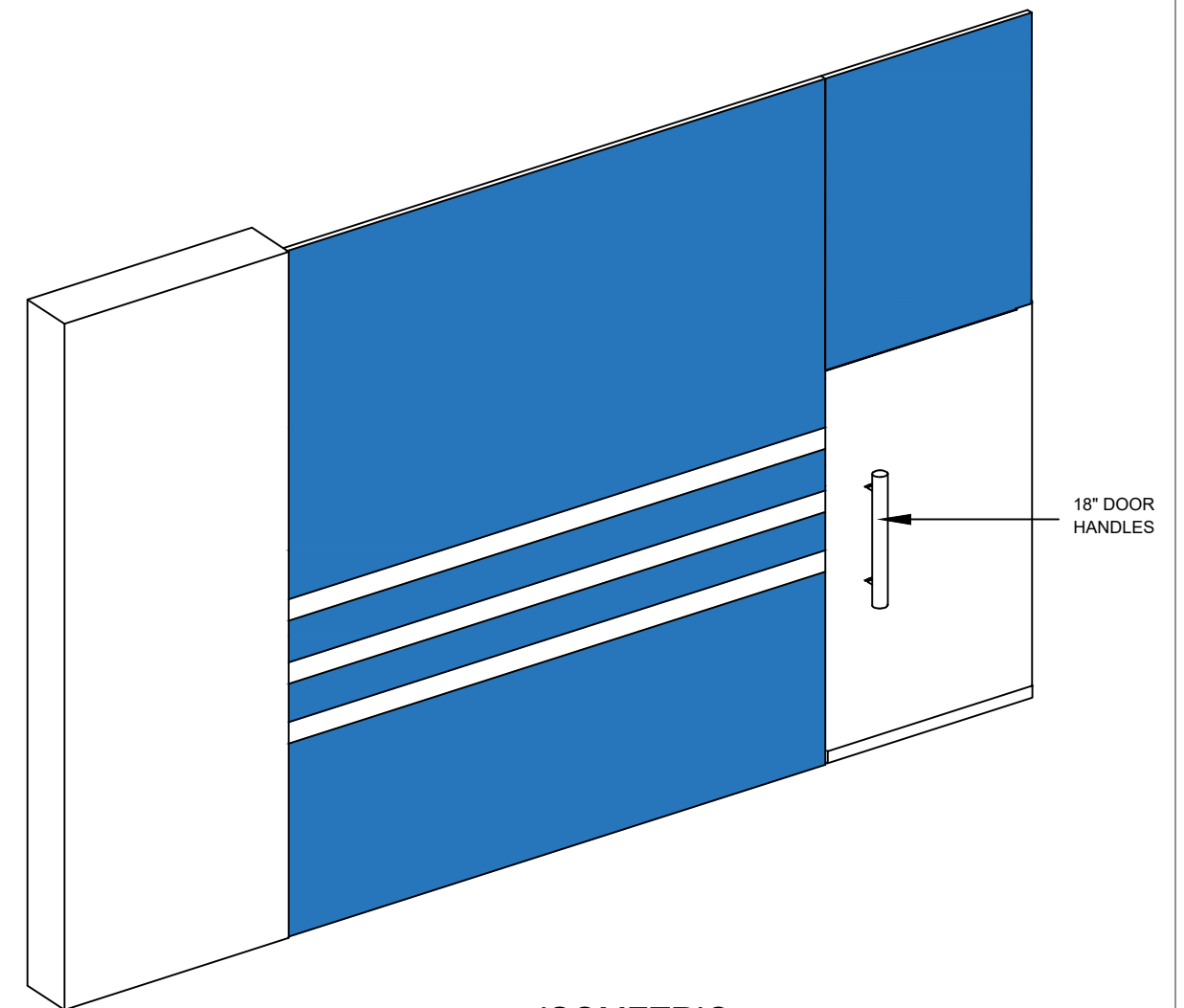






SECTIONAL SIDE  
ELEVATION

FRONT  
ELEVATION



ISOMETRIC  
VIEW

## PROJECT:

PROPOSED LAYOUT PLAN OF  
UNION BANK KHAND BAZAR

SHEET NO : 12

## NOTES:

OBJECTIVE OF DRAWING -ALL DIMENSIONS MUST BE CHECKED AND CORRELATED WITH THE SITE MEASUREMENTS AND ANY AMBIGUITY MUST BE IMMEDIATELY BROUGHT TO THE NOTICE OF THE ARCHITECTS BEFORE COMMENCEMENT OF THE WORK.ALL DIMENSIONS ON DRAWING TO BE READ AND NOT TO BE MEASURED,ALL DIMENSIONS ARE PER SITE. THE PROVIDED DRAWING ARE HANDED OVER TO CLARIFY THE REPRESENTATION OF THE REQUIRED MODULE. WE MAINTAIN THAT HUMAN ERRORS CANNOT BE DENIED BUT ALSO THAT EVERYTHING CANNOT BE DETAILED IN DRAWING/ DESIGN ALSO, HENCE THE REFERENCE OF THE COMMODITY IN THE RELEVANCE TENDER CLAUSE IS NECESSARY.

## REVISIONS:

	DATE	REVISIONS
NORTH	13.1.2022	28.2.2022
WEST		8.3.2022
EAST		
SOUTH		

## TITLE: FURNITURE

FULL GLAZING GLASS PARTITION

DATE: 8.3.2022

DRAWN BY:  
AR.ANJALISB

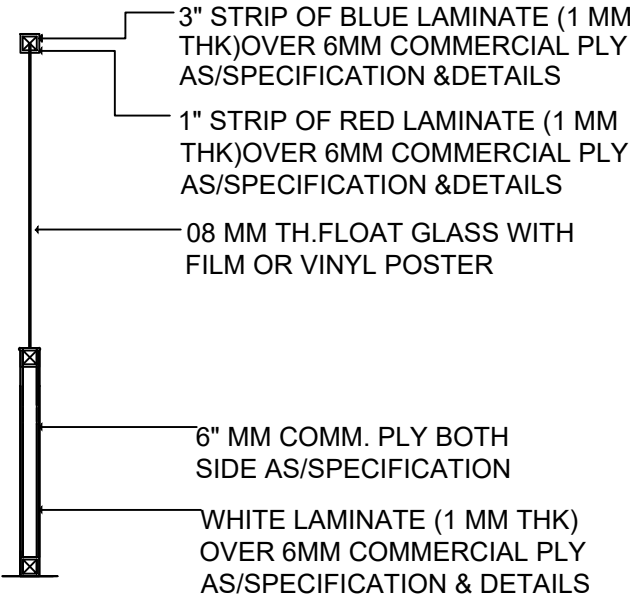
SHEET NO:  
12

CHECKED BY:  
PROJECT  
MANAGER

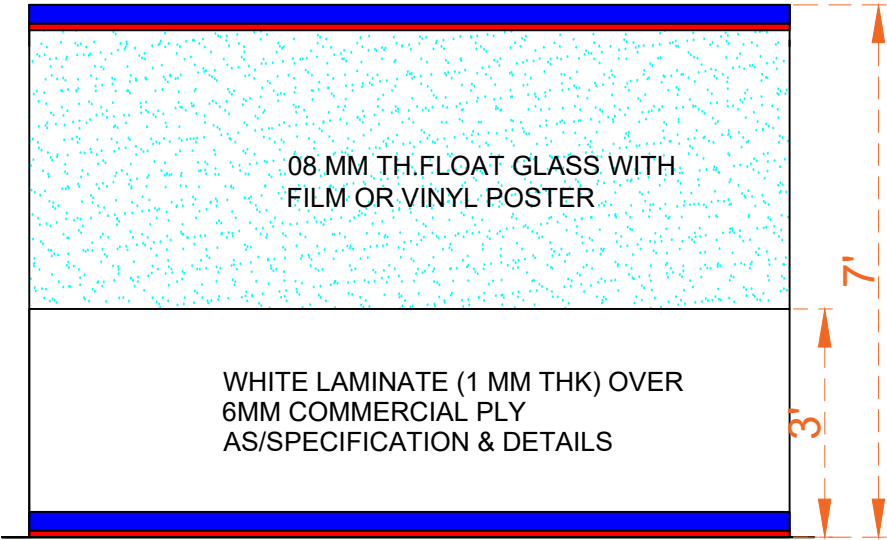
PROJECT - Union Bank of India ,  
KHAND BAZAR  
Consultant - M/s Bhawana Enterprises Pvt Ltd.  
Scale - Actual.  
Date - 8.3.2022



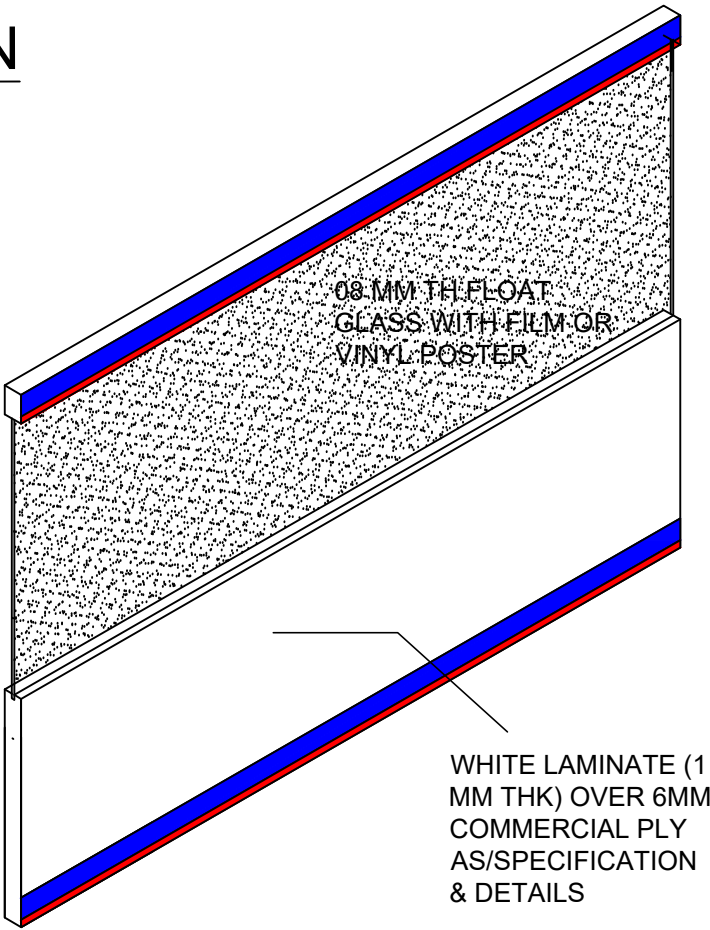
# PARTIALLY GLAZED FULL HEIGHT PARTITON



SECTIONAL SIDE ELEVATION



FRONT ELEVATION



ISOMETRIC VIEW

PARTIALLY GLAZED FULL HEIGHT PARTITON

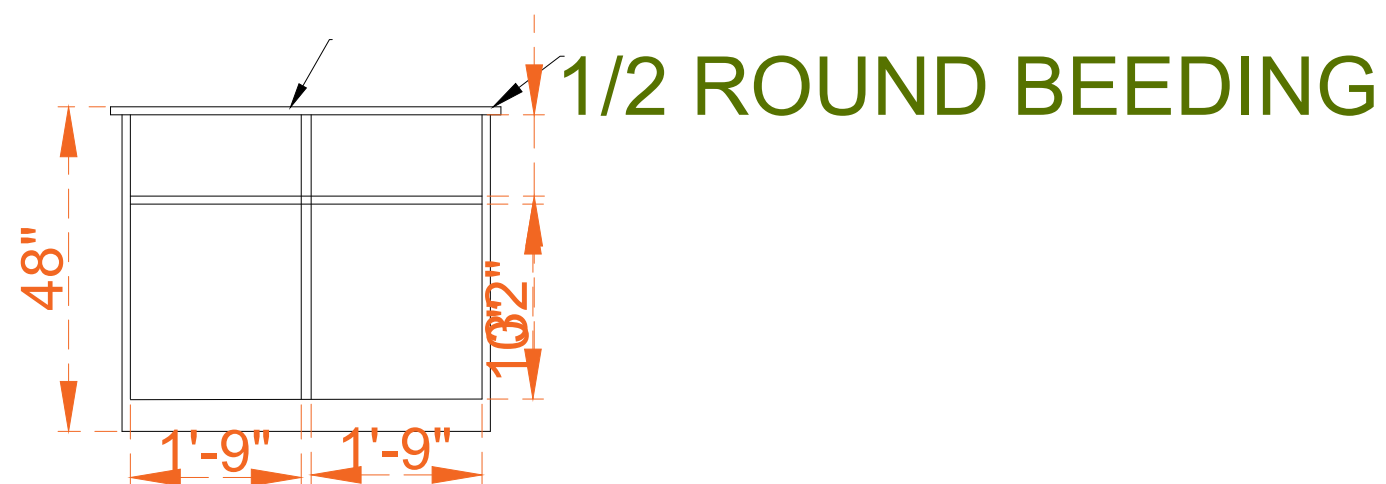
PROJECT:	NOTES:	REVISIONS:	TITLE: <u>FURNITURE</u>		PROJECT - Union Bank of India , KHAND BAZAR Consultant - M/s Bhawana Enterprises Pvt Ltd. Scale - Actual. Date - 8.3.2022															
PROPOSED LAYOUT PLAN OF UNION BANK KHAND BAZAR  SHEET NO : 06	OBJECTIVE OF DRAWING -ALL DIMENSIONS MUST BE CHECKED AND CORRELATED WITH THE SITE MEASUREMENTS AND ANY AMBIGUITY MUST BE IMMEDIATELY BROUGHT TO THE NOTICE OF THE ARCHITECTS BEFORE COMMENCEMENT OF THE WORK.ALL DIMENSIONS ON DRAWING TO BE READ AND NOT TO BE MEASURED.ALL DIMENSIONS ARE PER SITE. THE PROVIDED DRAWING ARE HANDED OVER TO CLARIFY THE REPRESENTATION OFTHE REQUIRED MODULE. WE MAINTAIN THAT HUMAN ERRORS CANNOT BE DENIED BUT ALSO THAT EVERYTHING CANNOT BE DETAILED IN DRAWING/ DESIGN ALSO, HENCE THE REFERENCE OF THE COMMODITY IN THE RELEVANCE TENDER CLAUSE IS NECESSARY.	<table><tr><th>NORTH</th><th>DATE</th><th>REVISIONS</th></tr><tr><td rowspan="5"><div><div>NORTH</div><div>WEST</div><div>EAST</div><div>SOUTH</div></div></td><td>13.1.2022</td><td>28.2.2022</td></tr><tr><td></td><td>8.3.2022</td></tr><tr><td></td><td></td></tr><tr><td></td><td></td></tr><tr><td></td><td></td></tr></table>		NORTH	DATE	REVISIONS	<div><div>NORTH</div><div>WEST</div><div>EAST</div><div>SOUTH</div></div>	13.1.2022	28.2.2022		8.3.2022							PARTIALLY GLAZED FULL HT PARTITION		SHEET NO: 06
		NORTH	DATE	REVISIONS																
<div><div>NORTH</div><div>WEST</div><div>EAST</div><div>SOUTH</div></div>	13.1.2022	28.2.2022																		
		8.3.2022																		
DATE: 8.3.2022		DRAWN BY: ARANJALISB		CHECKED BY: PROJECT MANAGER																

SHEET NO : 06

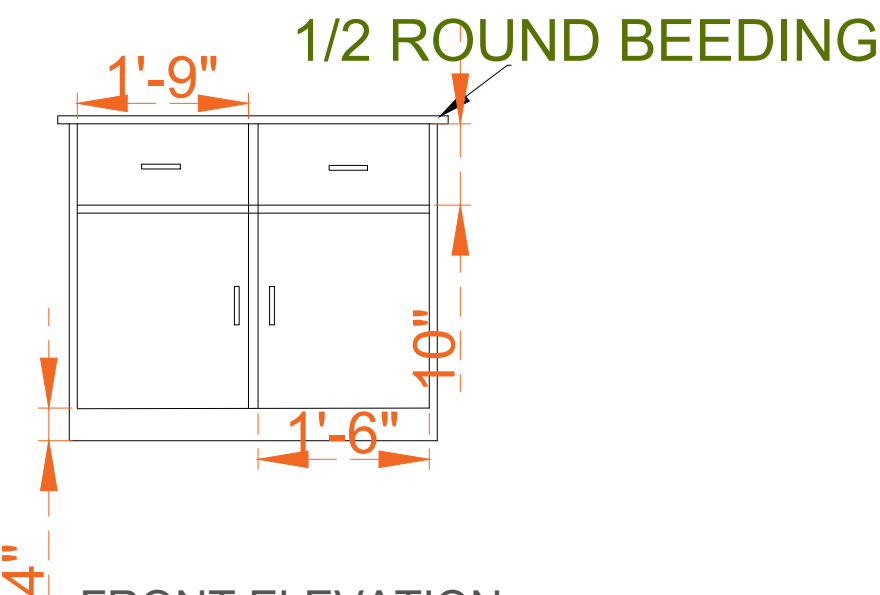




# TYPICAL PLAN OF LOW HEIGHT CABINET

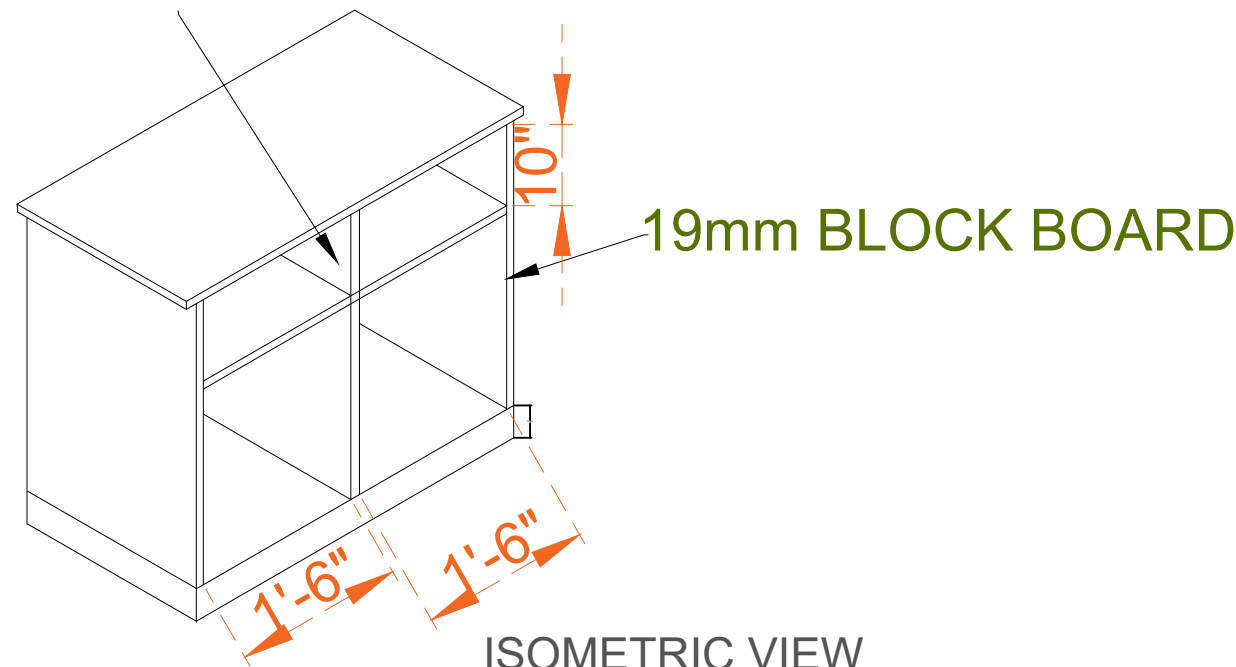


SECTION ELEVATION



FRONT ELEVATION

ENAMEL PAINT OF APPROVED COLOUR



ISOMETRIC VIEW



ISOMETRIC VIEW WITH DOOR

PROJECT:	NOTES:	REVISIONS:			TITLE: <u>FURNITURE</u>		PROJECT - Union Bank of India , KHAND BAZAR	
PROPOSED LAYOUT PLAN OF UNION BANK KHAND BAZAR  SHEET NO : 07	OBJECTIVE OF DRAWING -ALL DIMENSIONS MUST BE CHECKED AND CORRELATED WITH THE SITE MEASUREMENTS AND ANY AMBIGUITY MUST BE IMMEDIATELY BROUGHT TO THE NOTICE OF THE ARCHITECTS BEFORE COMMENCEMENT OF THE WORK.ALL DIMENSIONS ON DRAWING TO BE READ AND NOT TO BE MEASURED,ALL DIMENSIONS ARE PER SITE. THE PROVIDED DRAWING ARE HANDED OVER TO CLARIFY THE REPRESENTATION OFTHE REQUIRED MODULE. WE MAINTAIN THAT HUMAN ERRORS CANNOT BE DENIED BUT ALSO THAT EVERYTHING CANNOT BE DETAILED IN DRAWING/ DESIGN ALSO, HENCE THE REFERENCE OF THE COMMODITY IN THE RELEVANCE TENDER CLAUSE IS NECESSARY.				TYPICAL DETAILS OF LOW HT CABINET		SHEET NO: 07	Consultant - M/s Bhawana Enterprises Pvt Ltd.  Scale - Actual.  Date - 8.3.2022
					DATE: 8.3.2022		DRAWN BY: AR.ANJALISB	CHECKED BY: PROJECT MANAGER

